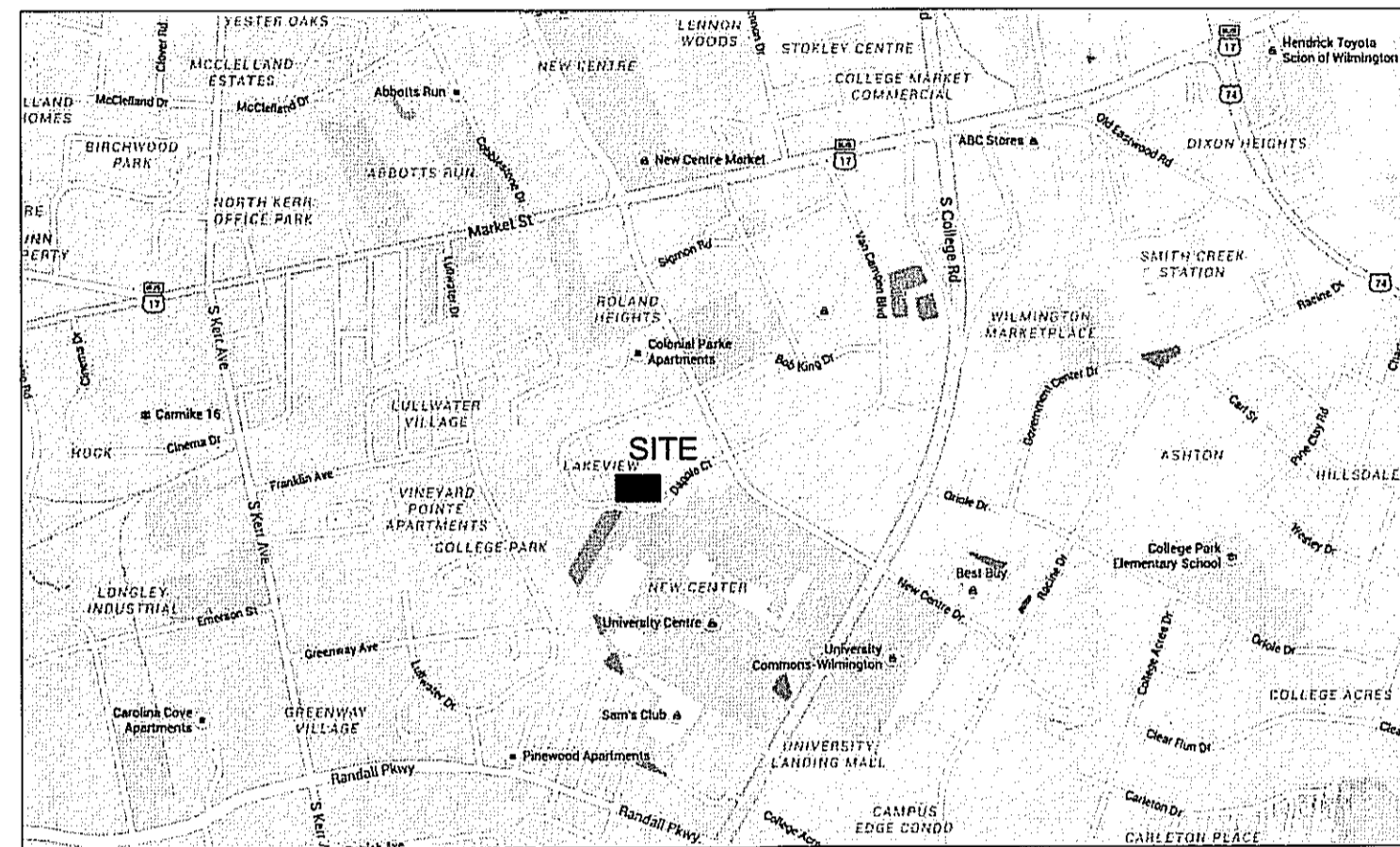


HAWTHORNE AT NEW CENTRE CLUBHOUSE & FITNESS CENTER

137 DAPPLE COURT
CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

PRELIMINARY SITE DRAWINGS REGULATORY REVIEW SET ISSUED 05-17-2016 REVISED 07-21-2016



LOCATION MAP
SCALE: NTS

CIVIL DRAWING INDEX:

COVER SHEET	C-00
EXISTING CONDITIONS SURVEY & DEMOLITION PLAN	C-01
TREE REMOVAL PLAN	C-02
PROPERTY OWNERSHIP PLAN	C-03
SITE LAYOUT PLAN	C-04
SITE UTILITY PLAN	C-05
SITE GRADING, & DRAINAGE PLAN	C-06
SITE HYDROLOGY PLAN	C-07
EROSION CONTROL PLAN	C-08
NOTES AND DETAILS	D-01
NOTES AND DETAILS	D-02
NOTES AND DETAILS	D-03
NOTES AND DETAILS	D-04
LANDSCAPING PLAN	L-01
TOTAL NUMBER OF DRAWINGS:	14

LEGEND

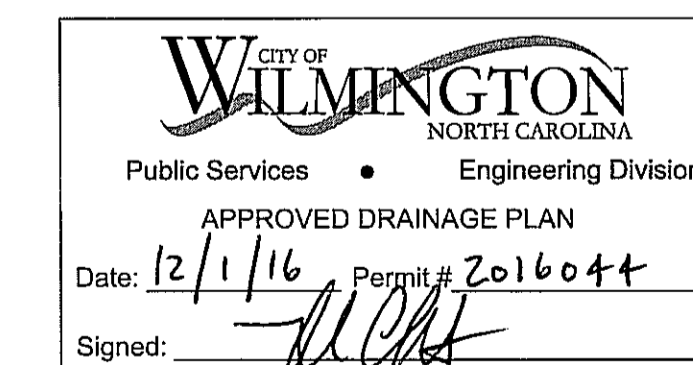
WATER	SITE DEVELOPMENT	MISCELLANEOUS UTILITIES
—W—	EX. STORM SEWER PIPE	○+ EX. LIGHT POLE
—W—	PROPOSED STORM SEWER	□+ EX. LIGHT (WALL PACK)
⊕	EX. STORM STRUCTURE	□-□-□- PROPOSED LIGHT POLE
⊕	CATCH BASIN	○ EX. UTILITY POLE
⊕	DROP INLET	○ EX. UTILITY POLE
⊕	EX. STORM SEWER MANHOLE	○ EX. GUY WIRE
M	STORM SEWER MANHOLE	⊕ EX. ELECTRICAL METER
M	EX. ROOF DRAIN LEADER	—OHP— EX. OVERHEAD ELECTRIC LINE
⊕	ROOF DRAIN LEADER	—OHP— PROPOSED OVERHEAD ELECTRIC LINE
⊕	EX. ROOF DRAIN DOWNSPOUT	—UGP— EX. UNDERGROUND ELECTRIC LINE
⊕	CURB AND GUTTER	—UGP— PROPOSED UNDERGROUND ELECTRIC LINE
⊕	CURB AND GUTTER	⊕ EX. TELEPHONE PEDESTAL
⊕	EXISTING PROPERTY LINE	⊕ TELEPHONE PEDESTAL
⊕	PROPERTY LINE	⊕ EX. TELEPHONE MANHOLE
⊕	BENCHMARK AND/OR SURVEY CONTROL MARKER	—OHT— EX. OVERHEAD TELEPHONE LINE
⊕	SOIL BORING LOCATION	—OHT— OVERHEAD TELEPHONE LINE
⊕	LIMITS OF DISTURBANCE	—OFO— EX. OVERHEAD FIBER LINE
⊕	EX. TREE	—OFO— OVERHEAD FIBER LINE
⊕	EX. SHRUB	⊕ EX. CABLE PEDESTAL
⊕	EX. FENCE	—OHC— EX. OVERHEAD COMMUNICATIONS LINE
⊕	PROPOSED FENCE	—OHC— OVERHEAD COMMUNICATIONS LINE
⊕	EX. TOPOGRAPHIC CONTOUR	—UGC— EX. UNDERGROUND COMMUNICATIONS LINE
⊕	PROPOSED TOPOGRAPHIC CONTOUR	—UGC— UNDERGROUND COMMUNICATIONS LINE
⊕	EX. SIGN	—OHU— EX. OVERHEAD UTILITY LINE-MULTIPLE UTILITIES
⊕	SIGN	○ BOLLARD
⊕		⊕ PROPERTY MARKER/IRON PIPE
⊕		⊕ EX. SURVEY MONUMENT

CIVIL SERIES DRAWING ABBREVIATIONS:

@-AT	DS-DOWNSPOUT	MECH-MECHANICAL	R/W-RIGHT OF WAY
AC-ACRE	EA-EACH	MH-MANHOLE	REQD-REQUIRED
AFG- ABOVE FINISHED GRADE	EIP-EXISTING IRON PIPE	MIN-MINIMUM	RCP-REINFORCED CONCRETE PIPE
APPR-APPROXIMATE	ELEC-ELECTRICAL	MJ-MECHANICAL JOINT	SAN-SANITARY SEWER
ASSY-ASSEMBLY	E/P-EDGE OF PAVEMENT	NIC-NOT IN CONTRACT	SDWK-SIDEWALK
B/C-BOTTOM OF CURB	EX-EXISTING	OHE-OVERHEAD ELECTRIC	SF-SQUARE FOOT
BOC-BACK OF CURB	F/C-FACE OF CURB	OHP-OVERHEAD POWER	SPT-SPOT GRADE
B/L-BASE LINE	FDC-FIRE DEPARTMENT CONNECTION	OHT-OVERHEAD TELEPHONE	SS-SANITARY SEWER
BM-BOOK OF MAPS	FFE-FINISHED FLOOR ELEVATION	PB-PLAT BOOK	STA-STATION
BMP-BEST MANAGEMENT PRACTICE	FG-FINISHED GRADE	PC-POINT OF CURVATURE	STD-STANDARD
BW-BOTTOM OF WALL	FH-FIRE HYDRANT	PED-PEDESTRIAN	STM-STORM
CB-CATCH BASIN	FL-FLOW LINE	PG-PAGE	STMH-STORM SEWER MANHOLE
C&G-CURB AND GUTTER	FM-FORCE MAIN	PH-PHASE	SWM-STORMWATER MANAGEMENT
CL-CENTERLINE	FT-FOOT	PI-POINT OF INTERSECTION	T-TELEPHONE
CL-CLASS	G-GAS	PIV-POST INDICATOR VALVE	T/C-TOP OF CURB
CMP-CORRUGATED METAL PIPE	GND-GROUND	PKG-PARKING	TCM-TELEPHONE MANHOLE
CO-CLEANOUT	GV-GATE VALVE	P/L-PROPERTY LINE	TS&V-TAPPING SLEEVE AND VALVE
COMM-COMMUNICATIONS	HDPE-HIGH DENSITY POLYETHYLENE	PS-PUMP STATION	UGE-UNDERGROUND ELECTRIC
CONC-CONCRETE	HORIZ-HORIZONTAL	PT-POINT OF TANGENCY	UNK-UNKNOWN
CONN-CONNECTION	IN-INCHES	PP-POWER POLE	UP-UTILITY POLE
CY-CUBIC YARD	INV-INVERT	PVC-POLYVINYL CHLORIDE	VAR-VARIABLE
DB-DEED BOOK	IP-IRON PIPE	PVMT-PAVEMENT	VERT-VERTICAL
DCV-DOUBLE CHECK VALVE	IPS-IRON PIPE SET	PWR-POWER	W/W-WITH
DDCV-DOUBLE DETECTOR CHECK VALVE	L-LENGTH	R-RADIUS	WM-WATER METER
DI-DROP INLET	LP-LINEAR FOOT	RD-ROOF DRAIN	W/O-WITHOUT
DIP-DUCTILE IRON PIPE	LP-LIGHT POLE	RJ-RESTRAINED JOINT	WL-WATERLINE
DR-DRIVEWAY	LS-LIFT STATION	RSZ-REDUCED PRESSURE ZONE	WSEL-WATER SERVICE ELEVATION
			WV-WATER VALVE

APPROVED CONSTRUCTION PLAN

	NAME	DATE
PLANNING	<i>[Signature]</i>	11-30-16
TRAFFIC	<i>[Signature]</i>	12-1-16
FIRE	<i>[Signature]</i>	12/1/16



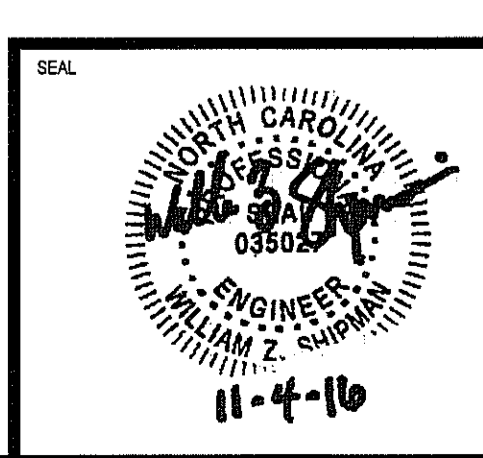
SURVEY DATUM INFORMATION:
HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

Civil Engineer:
The Curry Engineering Group, PLLC
NC License # P-0799
205 S. Fuquay Ave
Fuquay-Varina, NC 27526
919.552.0849 (o)
Contact: Zak Shipman, PE
zak@curryeng.com

Surveyor:
Mike Underwood and Associates
102 Cinema Drive
Wilmington, NC 28403
910.815.0650
Contact: Mr. Mike Underwood, PL
mua@bizec.rr.com

Developer:
Hawthorne Residential Partners
806 Green Valley Road, Suite 311
Greensboro, NC 27408
336.275.9511
Contact: Ms. Beverly Greear
bgreear@hrpliving.com

Architect:
Planworx Architecture, PA
5711 Six Forks Road, Suite 100
Raleigh, NC 27609
919.846.8100
Contact: Mr. Robert Clifford
rclifford@planworx.com



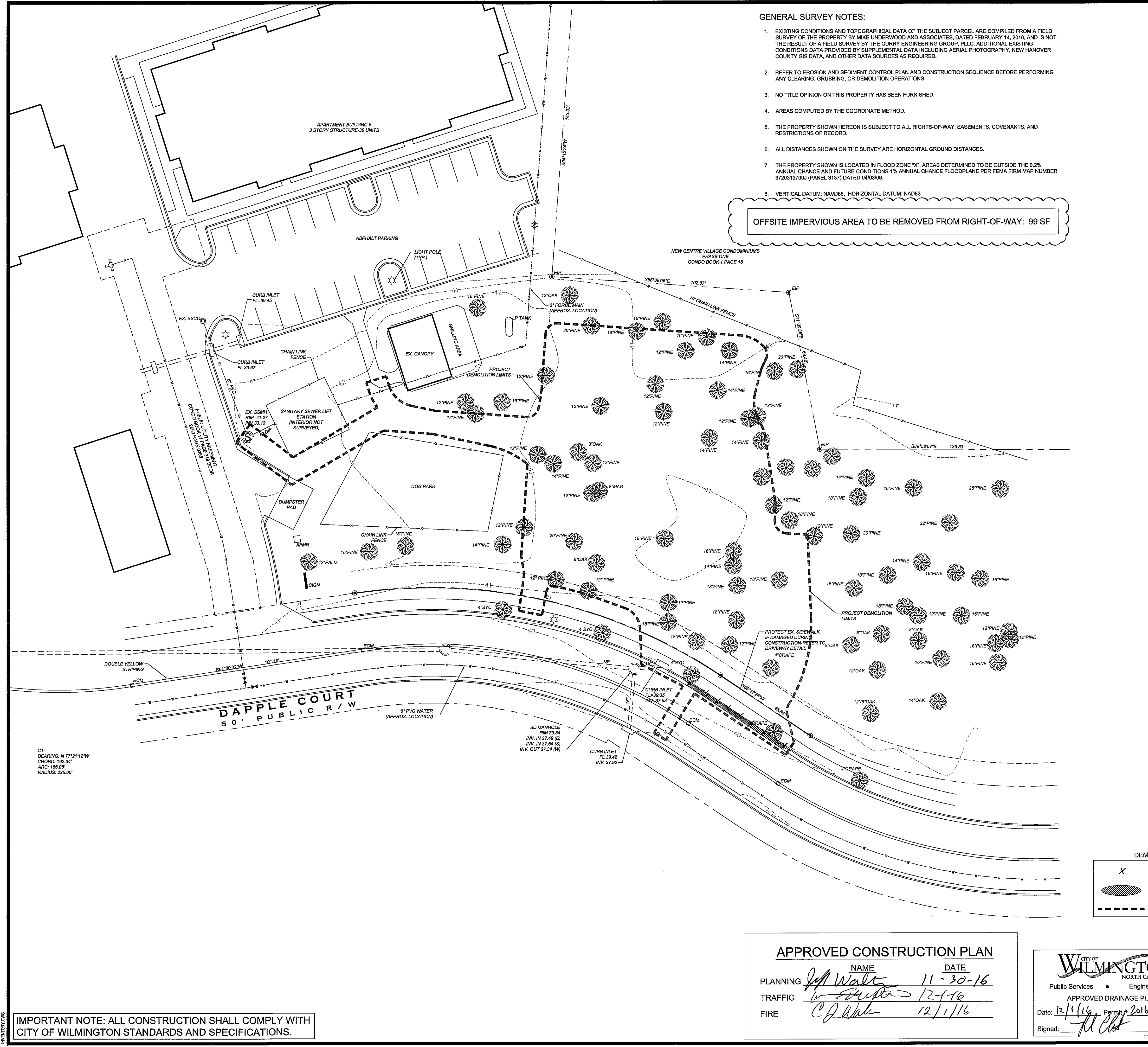
HAWTHORNE AT NEW CENTRE CLUBHOUSE & FITNESS CENTER
137 DAPPLE COURT WILMINGTON, NORTH CAROLINA
COVER SHEET

Curry
 ENGINEERING
 205 S. Fuquay Avenue
 Fuquay-Varina, NC 27526
 T: 919.552.0849
 F: 919.552.0848
 E: zak@curryeng.com
 NC L.C. NO. P-0799

REVISIONS	DATE	BY	CHK	TRC	COMMENT
2	10-12-16				PER TRC COMMENT
1	07-21-16				PER TRC COMMENT

DATE: 05-17-16
FILE NO. 2016-083
ORIG. SHEET SIZE: 24 x 36

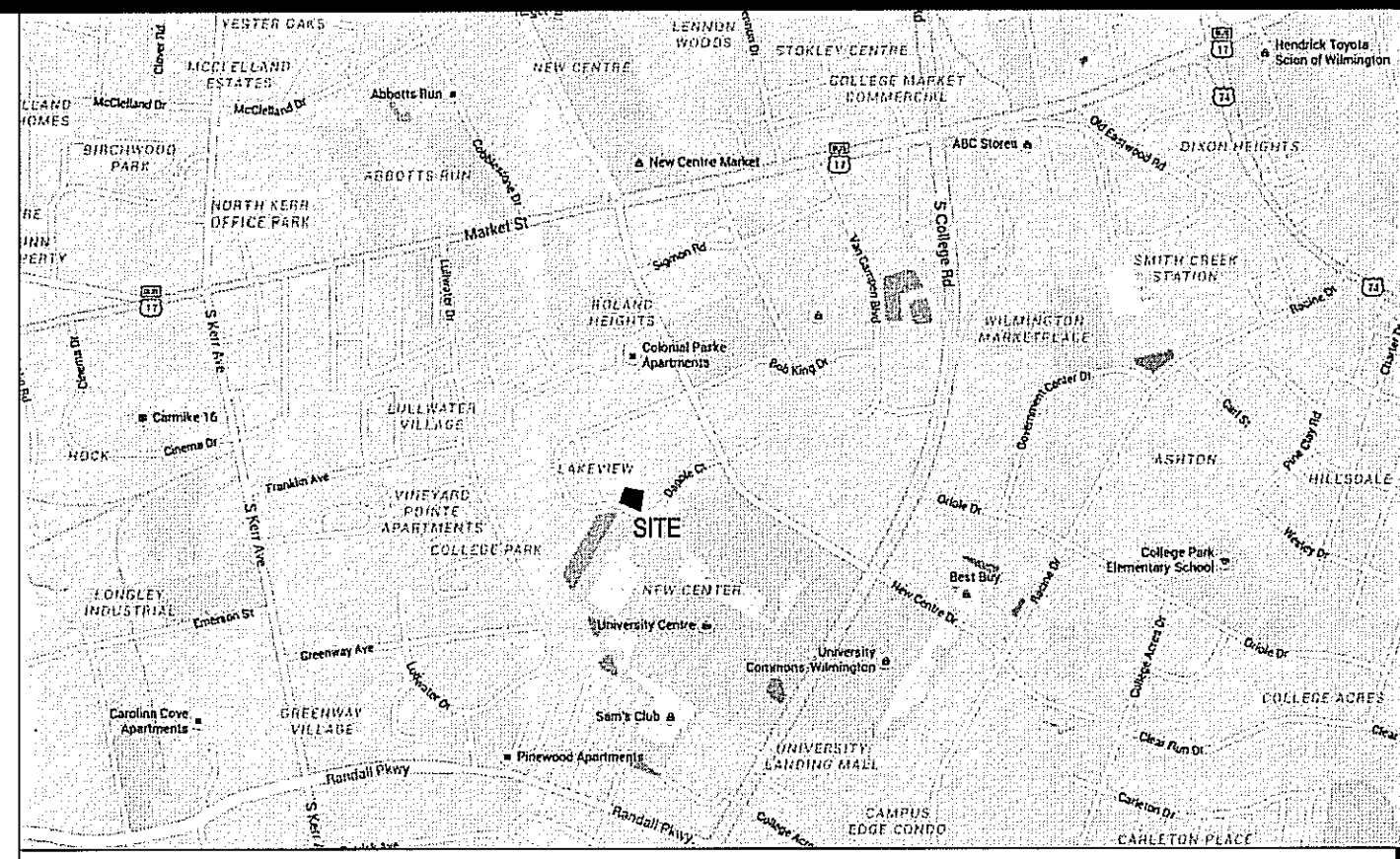
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 PLOTTED: 1/4/16 10:58 AM



GENERAL SURVEY NOTES:

- EXISTING CONDITIONS AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY OF THE PROPERTY BY MIKE UNDERWOOD AND ASSOCIATES, DATED FEBRUARY 14, 2016, AND IS NOT THE RESULT OF A FIELD SURVEY BY THE CURRY ENGINEERING GROUP, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, NEW HANOVER COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
- REFER TO EROSION AND SEDIMENT CONTROL PLAN AND CONSTRUCTION SEQUENCE BEFORE PERFORMING ANY CLEARING, GRUBBING, OR DEMOLITION OPERATIONS.
- NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
- AREAS COMPUTED BY THE COORDINATE METHOD.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
- ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
- THE PROPERTY SHOWN IS LOCATED IN FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLANE PER FEMA FIRM MAP NUMBER 3720313700J (PANEL 3157) DATED 04/03/06.
- VERTICAL DATUM: NAVD83, HORIZONTAL DATUM: NAD83

OFFSITE IMPERVIOUS AREA TO BE REMOVED FROM RIGHT-OF-WAY: 99 SF



VICINITY MAP
NOT TO SCALE

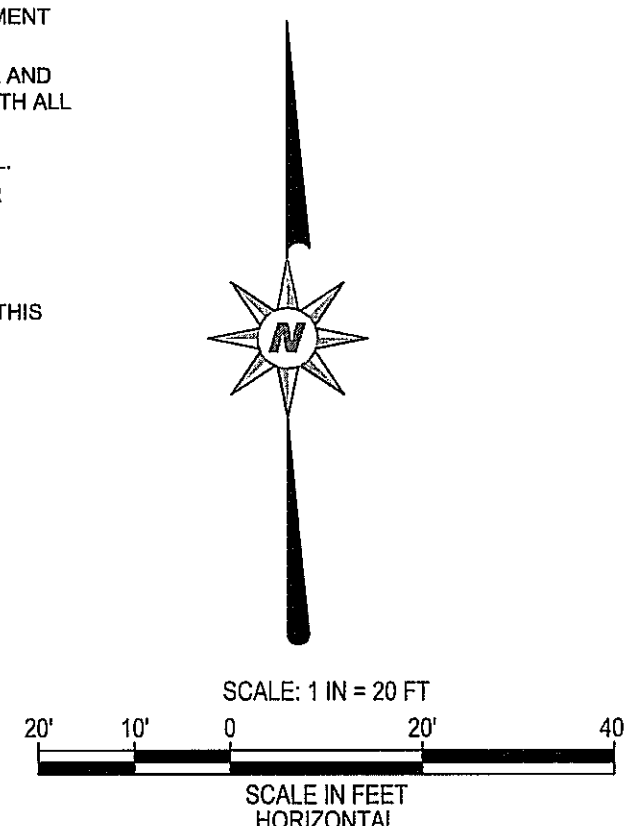
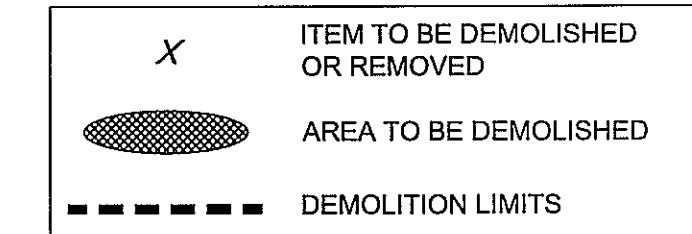
DEMOLITION NOTES:

- REMOVE/DEMOLISH/ABANDON EXISTING FEATURES AFTER EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE AND AFTER THE APPROVAL OF THE ENGINEER.
- DO NOT INTERRUPT EXISTING UTILITY SERVICES FOR FACILITIES OCCUPIED BY THE OWNER OR OTHERS EXCEPT WHEN PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE ACCEPTABLE TEMPORARY UTILITY SERVICES.
 - (1) NOTIFY ENGINEER NOT LESS THAN 72 HOURS IN ADVANCE OF PROPOSED UTILITY SERVICE INTERRUPTIONS.
 - (2) DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITHOUT RECEIVING WRITTEN PERMISSION FROM THE DESIGN ENGINEER.
- SUBSURFACE UTILITIES AND FEATURES DENOTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND HAVE NOT BEEN FIELD VERIFIED WITH TRADITIONAL SUE OR UNDERGROUND UTILITY LOCATION OR MARKING METHODS. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION, INCLUDING UTILITY "POTHOLING" OR BY THE EXCAVATION OF TEST PITS AS NECESSARY TO DETERMINE THE UTILITY LOCATION, DEPTHS, AND MATERIALS.
- VERIFY LOCATIONS AND SIZES OF ALL EXISTING FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTATION OF EXISTING FEATURES THROUGH THE USE OF PHOTOGRAPHY, VIDEO, OR OTHER RECORDS PRIOR TO DISTURBANCE ON SITE.
- LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION, AND REPAIR ANY DAMAGES TO EXISTING UTILITIES RESULTING FROM CONSTRUCTION.
- REMOVE ALL EXISTING ON-SITE TRASH AND DEBRIS. TRASH SHALL BE REMOVED AND DISPOSED OF IN A LEGAL MANNER. NOTIFY OWNER AND ENGINEER IF ANY HAZARDOUS MATERIALS (ASBESTOS, LEAD PAINT, ETC.) ARE ENCOUNTERED.
- REMOVE SIDEWALK, CURB AND GUTTER, AND OTHER CONCRETE SECTIONS BY SAWCUTTING THE NEAREST CONTROL JOINT AWAY FROM THE AREA DESIGNATED TO BE REMOVED ON THE DEMOLITION PLAN.
- SAWCUT PAVEMENT IN ALL LOCATIONS WHERE ABUTTING SIDEWALK OR NEW PAVEMENT IS EXISTING.
- DRAWINGS DO NOT SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD PRIOR TO INSTALLATION OF ANY NEW UTILITY SERVICES OR LINES. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OBTAINED THROUGH VARIOUS DATA SOURCES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. CALL THE APPROPRIATE UTILITY COMPANIES 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITY SERVICES OR LINES.
- NOTIFY AND COORDINATE ANY REQUIRED RELOCATION AND/OR REMOVAL OF EXISTING UNDERGROUND UTILITIES, POLES, METERS, OR OTHER ABOVE GROUND APPURTENANCES WITH THE APPROPRIATE UTILITY PROVIDER (I.E. POWER, TELEPHONE, CABLE, AND NATURAL GAS/PROPANE) PRIOR TO THE START OF SELECTIVE DEMOLITION WORK.
- ARRANGE SELECTIVE DEMOLITION SCHEDULE SO AS NOT TO INTERFERE WITH OWNER'S USE OF THE PROPERTY.
- SHOULD UNCHARTED OR INCORRECTLY CHARTED EXISTING UTILITIES BE IDENTIFIED, CONTACT THE ENGINEER IMMEDIATELY FOR INSTRUCTIONS. PROVIDE A SCALED DRAWING OF THE UNCHARTED OR INCORRECTLY CHARTED UTILITY FOR USE BY THE ENGINEER IN PREPARING ADDITIONAL DIRECTIONS.
- CONTRACTOR SHALL MAINTAIN A CLEAN WORK SITE, FREE OF DEBRIS, TRASH, OR OTHER CONSTRUCTION MATERIALS. AREAS SUBJECT TO SITE CONSTRUCTION ADJACENT TO THE PUBLIC RIGHT OF WAY AND PEDESTRIAN SIDEWALKS SHALL BE LEFT "BROOM CLEAN" AT THE END OF EACH WORK DAY.
- CONTRACTOR SHALL VERIFY AND CONFIRM LOCATION OF STAGING AND LAYDOWN AREA, MATERIALS STORAGE AREA, AND SUBCONTRACTOR PARKING WITH THE PROPERTY OWNER AND/OR PROPERTY MANAGEMENT PRIOR TO BEGINNING WORK ON-SITE.

DEMOLITION SEQUENCE:

- INSTALL TREE PROTECTION FENCING IF REQUIRED, ACCORDING TO THE DRAWINGS.
- INSTALL THE NECESSARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- REMOVE AND/OR DEMOLISH EXISTING UNDERGROUND POWER AND OTHER UTILITIES WITHIN THE PROJECT AREA. COORDINATE WITH ALL APPROPRIATE UTILITY PROVIDERS PRIOR TO REMOVAL.
- REMOVE EXISTING TREES THAT ARE APPROVED FOR REMOVAL.
- REMOVE EXISTING ASPHALT, CONCRETE, GRAVEL, AND OTHER SURFACES AS SHOWN.
- REMOVE EXISTING ROOT MAT, TOPSOIL, AND OTHER ORGANIC MATERIALS FROM THE CONSTRUCTION AREA AS REQUIRED.
- REMOVE ANY ADDITIONAL EXISTING FEATURES AS SHOWN ON THIS PLAN.

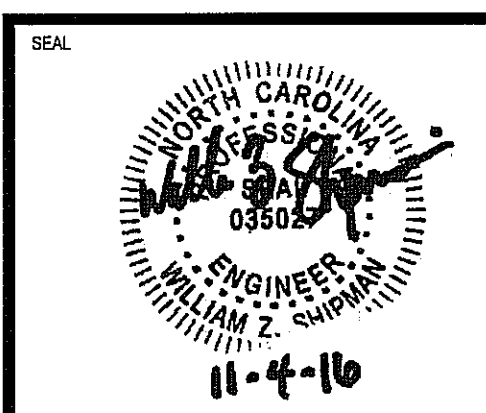
DEMOLITION LEGEND



APPROVED CONSTRUCTION PLAN

	NAME	DATE
PLANNING	<i>J. A. Walt</i>	11-30-16
TRAFFIC	<i>W. Stuber</i>	12-1-16
FIRE	<i>C. J. Wale</i>	12/1/16

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 12/1/16 Permit # 2016044
Signed: *[Signature]*



CI: BEARING: N 77°21'12"W
CHORD: 162.34'
ARC: 168.08'
RADIUS: 226.00'

IMPORTANT NOTE: ALL CONSTRUCTION SHALL COMPLY WITH CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.

HAWTHORNE AT NEW CENTRE CLUBHOUSE & FITNESS CENTER
137 DAPPLE COURT WILMINGTON, NORTH CAROLINA
EXISTING CONDITIONS & DEMOLITION PLAN

205 S. Hargett Avenue
Fayetteville, NC 27208
T 910 552-0089
F 910 552-0093

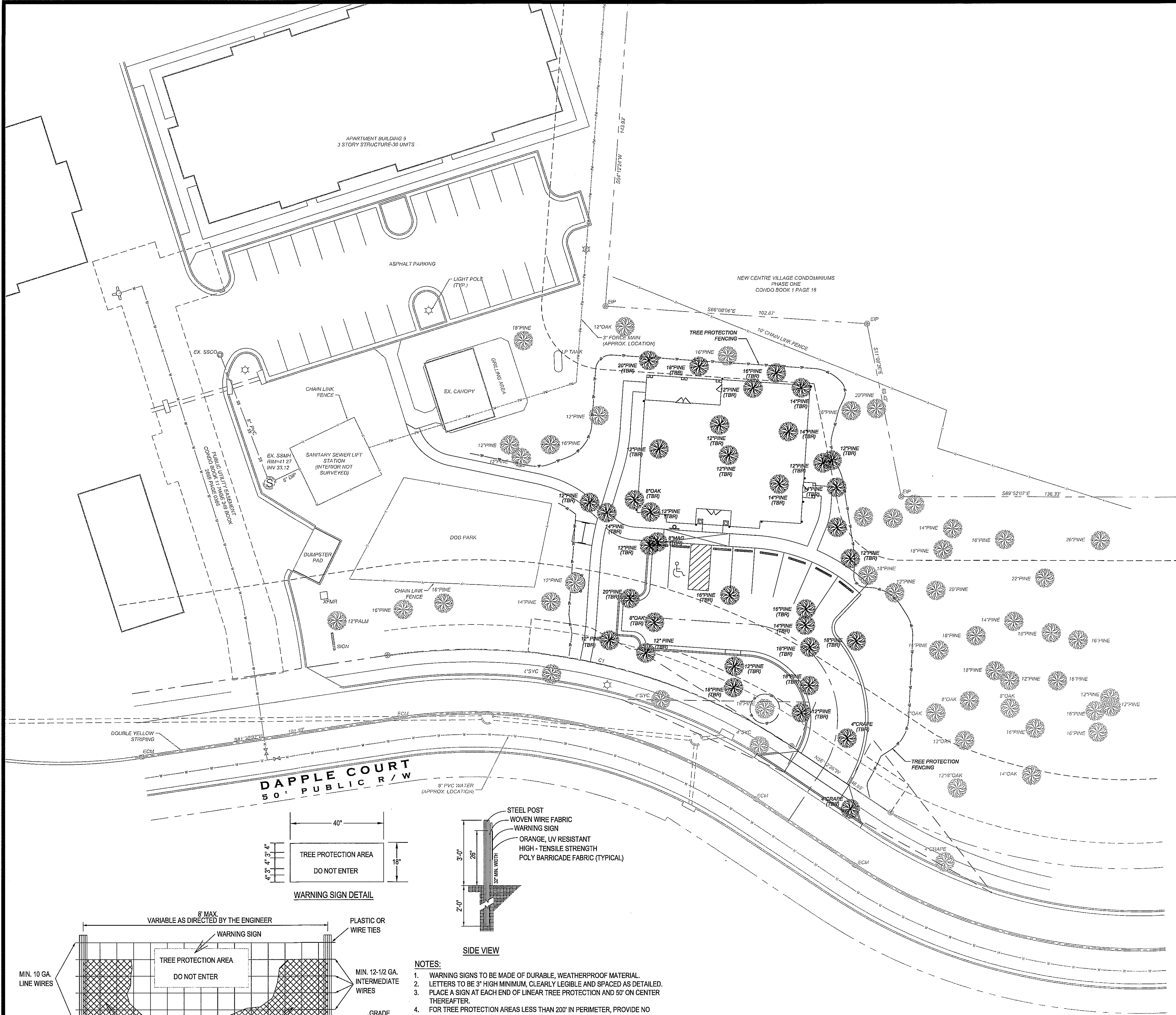
Curry
ENGINEERING

NC LIC. NO. P-0789

C-01

NO.	DATE	BY	DESCRIPTION
1	07-21-16	PER TRC	COMMENT
2	10-12-16	PER TRC	COMMENT

DATE: 05-17-16
FILE NO: 2015-083
ORIG. SHEET SIZE: 24 x 36

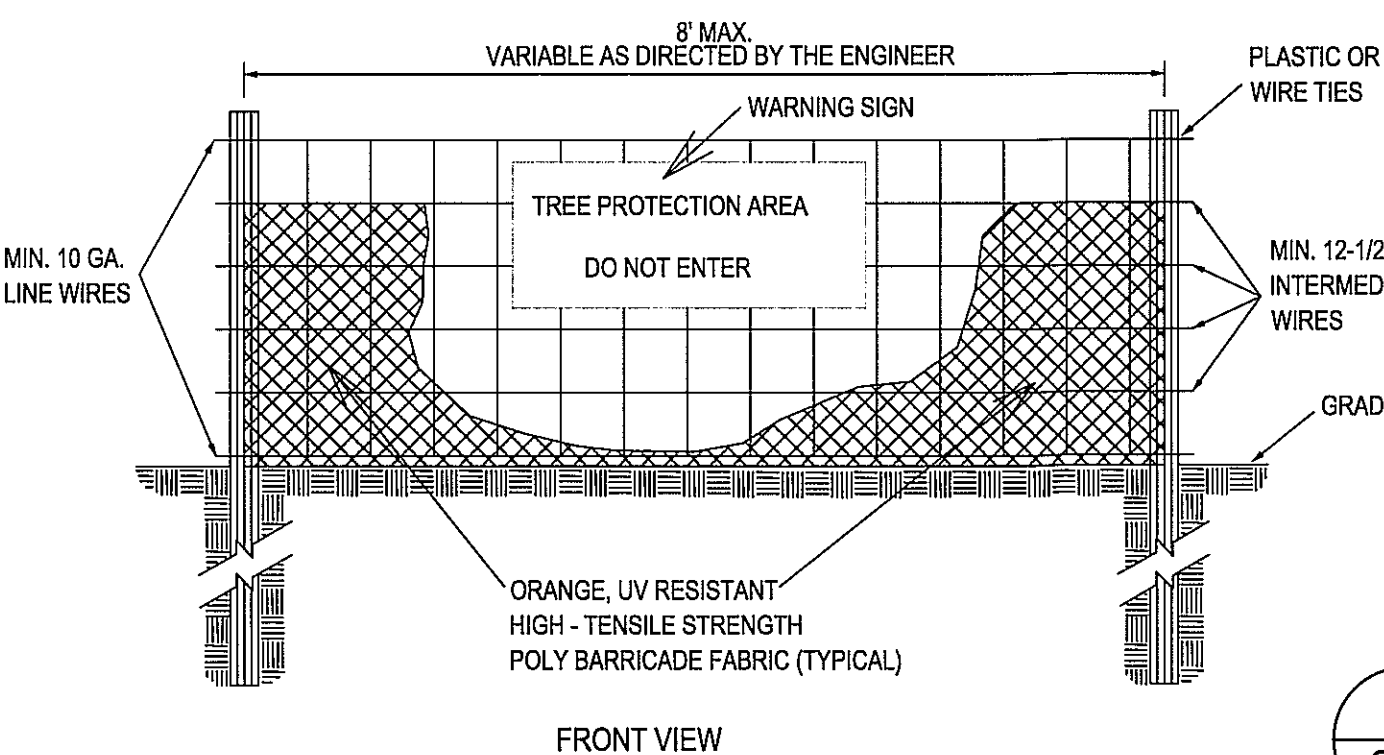
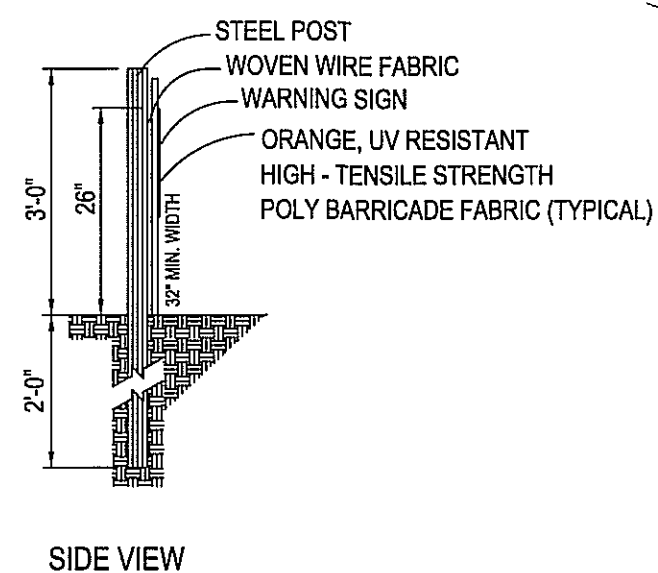


- GENERAL SURVEY NOTES:**
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 - VERTICAL DATUM: NAVD83, HORIZONTAL DATUM: NAD83

HAWTHORNE AT NEW CENTRE CLUBHOUSE & FITNESS CENTER
137 DAPPLE COURT WILMINGTON, NORTH CAROLINA
TREE REMOVAL PLAN

REVISIONS			
2	10-12-16	PER TRC COMMENT	
1	07-21-16	PER TRC COMMENT	
DATE: 05-17-16			HORIZ. SCALE: 24' x 36'
FILE NO. 2015-083			ORIG. SHEET SIZE: 24' x 36'

DAPPLE COURT
50' PUBLIC R/W



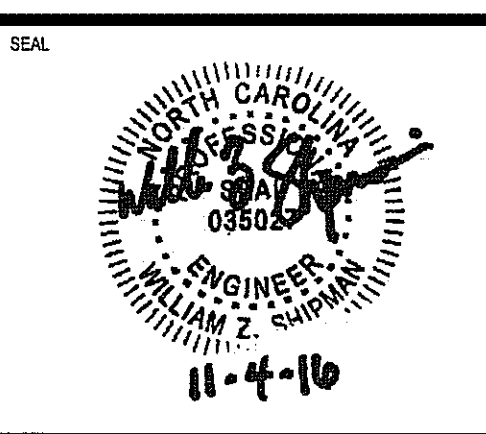
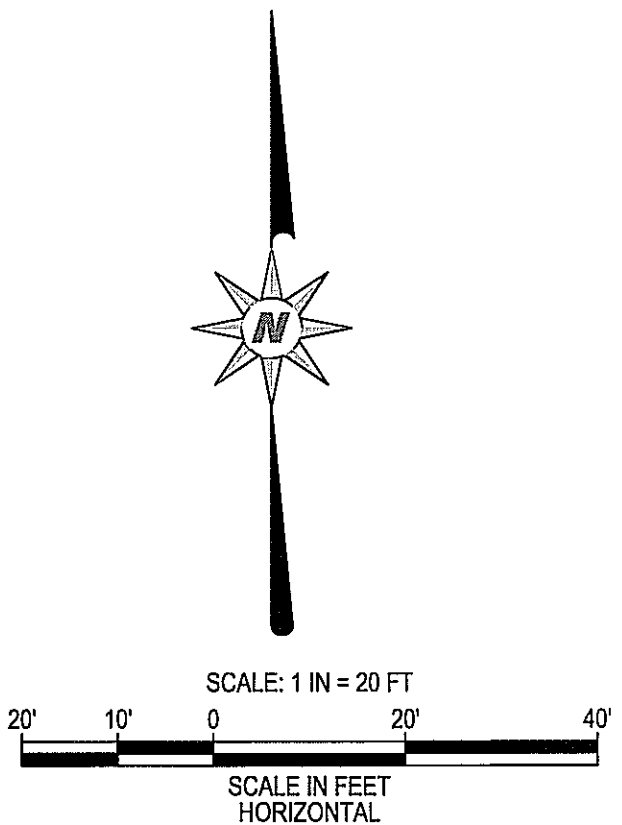
- NOTES:**
- WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
 - LETTERS TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 - PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER.
 - FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
 - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 - MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
 - ADDITIONAL SIGNS MAY BE REQUIRED BY TOWN OF FUQUAY VARINA BASED ON ACTUAL FIELD CONDITIONS.

3
C-02 **STANDARD TREE PROTECTION FENCE**
SCALE: NTS

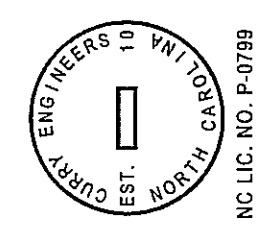
APPROVED CONSTRUCTION PLAN

NAME	DATE
PLANNING <i>J. Walker</i>	11-30-16
TRAFFIC <i>C. J. Walker</i>	12-1-16
FIRE <i>C. J. Walker</i>	12-1-16

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 12/1/16 Permit # 2016044
Signed: *J. Walker*



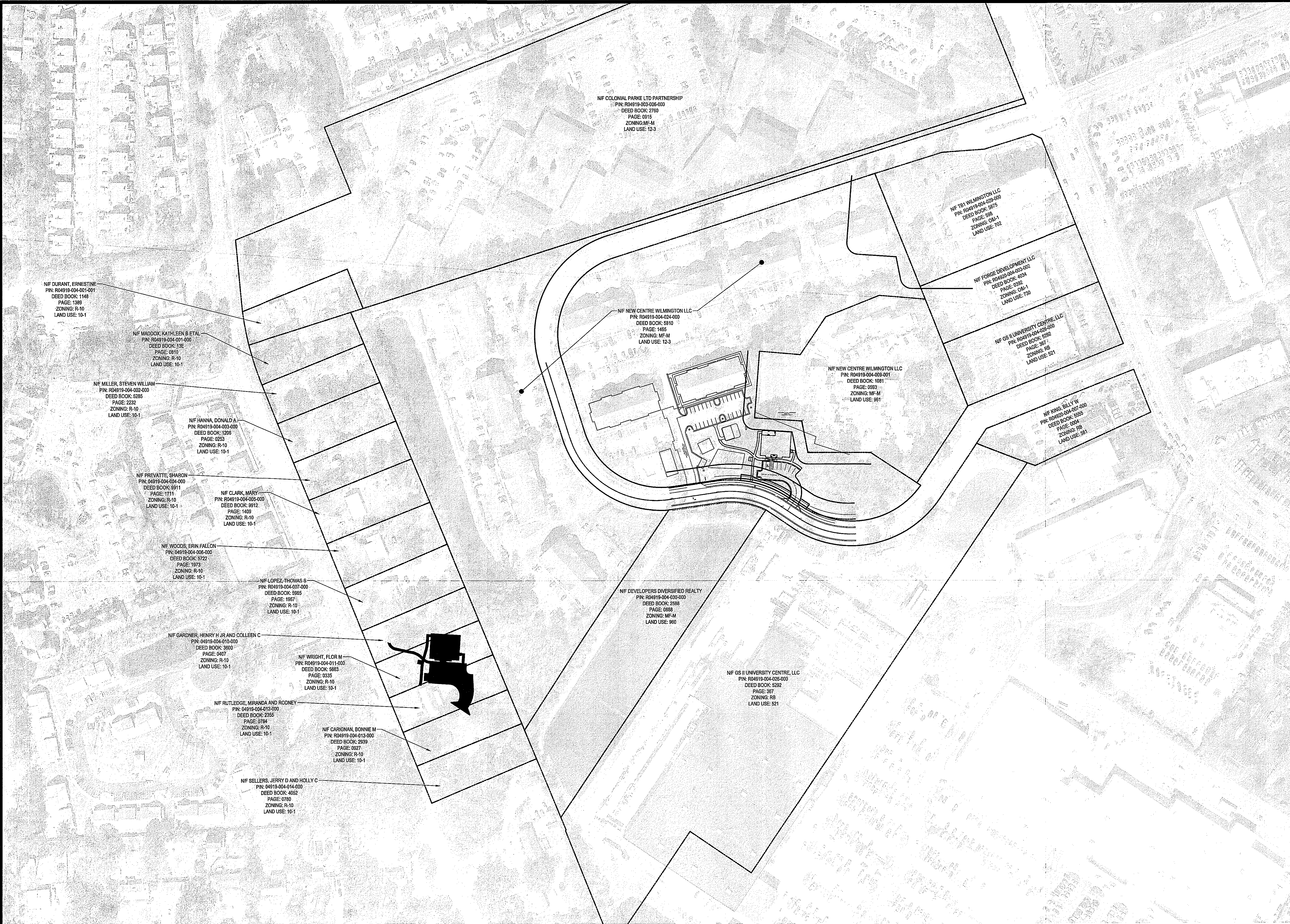
265 S. Hargett Avenue
Fayetteville, NC 27808
T (919) 552-6649
F (919) 552-2943



Curry
ENGINEERING

C-02

Z:\PROJECTS\FOLDER_ZEBEL\0803016-080 NEW CENTRE CLUBHOUSE/FITNESS CENTER/SITE PLAN/SHEET FILE/SC-20 DEMOLITION AND TREE REMOVAL PLAN.DWG
PLOT DATE: 11/09/16 11:53 AM



Z:\PROJECTS\FOLDER_ZSR\UNIVERSITY\020515-001 NEW CENTRE FITNESS CENTER\PROPERTY OWNERSHIP PLAN.dwg
 PLOTTED: 11/03/16 11:53 AM

IMPORTANT NOTE: ALL CONSTRUCTION SHALL COMPLY WITH CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.

NF COLONIAL PARKE LTD PARTNERSHIP
 PIN: R04919-003-006-000
 DEED BOOK: 2760
 PAGE: 0015
 ZONING: MF-M
 LAND USE: 12-3

NF TBI WILMINGTON LLC
 PIN: R04919-004-028-000
 DEED BOOK: 5875
 PAGE: 508
 ZONING: CM-1
 LAND USE: 702

NF FORGE DEVELOPMENT LLC
 PIN: R04919-004-003-002
 DEED BOOK: 4054
 PAGE: 0051
 ZONING: CM-1
 LAND USE: 730

NF GS UNIVERSITY CENTRE, LLC
 PIN: R04919-004-028-000
 DEED BOOK: 5992
 PAGE: 361
 ZONING: RB
 LAND USE: 921

NF KING, BILLY W
 PIN: R04919-004-007-000
 DEED BOOK: 5555
 PAGE: 0004
 ZONING: RB
 LAND USE: 981

NF NEW CENTRE WILMINGTON LLC
 PIN: R04919-004-009-001
 DEED BOOK: 1081
 PAGE: 0083
 ZONING: MF-4
 LAND USE: 981

NF NEW CENTRE WILMINGTON LLC
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 PAGE: 1455
 ZONING: MF-M
 LAND USE: 12-3

NF DURANT, ERNESTINE
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 DEED BOOK: 1148
 PAGE: 1389
 ZONING: R-10
 LAND USE: 10-1

NF MADDOCK, KATHLEEN B ET AL
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 PAGE: 0810
 ZONING: R-10
 LAND USE: 10-1

NF MILLER, STEVEN WILLIAM
 PIN: R04919-004-002-000
 DEED BOOK: 5285
 PAGE: 2332
 ZONING: R-10
 LAND USE: 10-1

NF HAINNA, DONALD A
 PIN: R04919-004-003-000
 DEED BOOK: 1206
 PAGE: 0233
 ZONING: R-10
 LAND USE: 10-1

NF PREVATTE, SHARON
 PIN: R04919-004-004-000
 DEED BOOK: 3911
 PAGE: 1711
 ZONING: R-10
 LAND USE: 10-1

NF CLARK, MARY
 PIN: R04919-004-005-000
 DEED BOOK: 3912
 PAGE: 1409
 ZONING: R-10
 LAND USE: 10-1

NF WOODS, ERIN FALLON
 PIN: R04919-004-006-000
 DEED BOOK: 3722
 PAGE: 1875
 ZONING: R-10
 LAND USE: 10-1

NF LOPEZ, THOMAS S
 PIN: R04919-004-007-000
 DEED BOOK: 5965
 PAGE: 1007
 ZONING: R-10
 LAND USE: 10-1

NF GARDNER, HENRY H JR AND COLLEEN C
 PIN: R04919-004-010-000
 DEED BOOK: 3800
 PAGE: 0407
 ZONING: R-10
 LAND USE: 10-1

NF WRIGHT, FLOR M
 PIN: R04919-004-011-000
 DEED BOOK: 5983
 PAGE: 0335
 ZONING: R-10
 LAND USE: 10-1

NF RUTLEDGE, MIRANDA AND RODNEY
 PIN: R04919-004-012-000
 DEED BOOK: 2355
 PAGE: 0784
 ZONING: R-10
 LAND USE: 10-1

NF CARONAN, BONNIE M
 PIN: R04919-004-013-000
 DEED BOOK: 2939
 PAGE: 0927
 ZONING: R-10
 LAND USE: 10-1

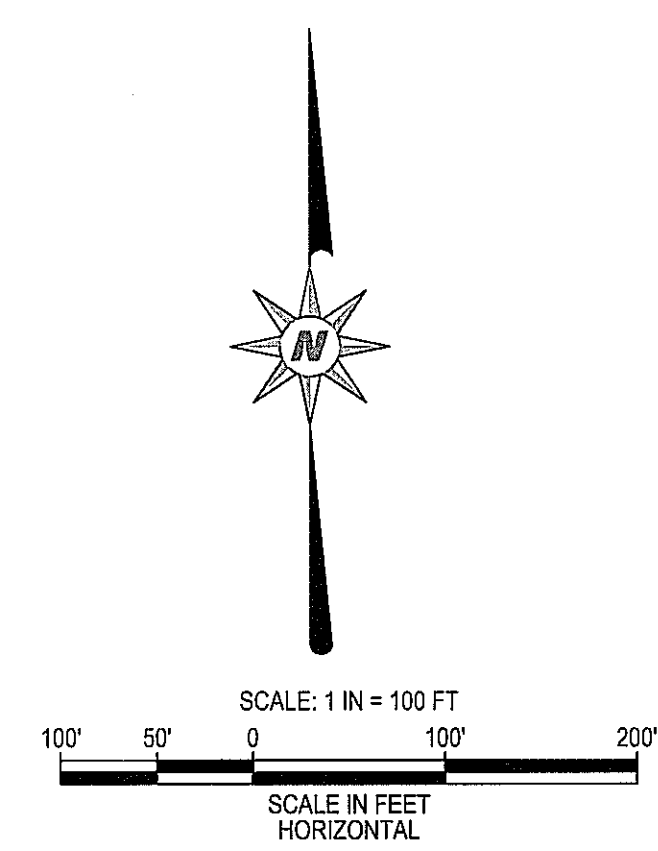
NF SELLERS, JERRY D AND HOLLY C
 PIN: R04919-004-014-000
 DEED BOOK: 4052
 PAGE: 0780
 ZONING: R-10
 LAND USE: 10-1

NF DEVELOPERS DIVERSIFIED REALTY
 PIN: R04919-004-030-000
 DEED BOOK: 2588
 PAGE: 0688
 ZONING: MF-M
 LAND USE: 960

NF GS II UNIVERSITY CENTRE, LLC
 PIN: R04919-004-028-000
 DEED BOOK: 5992
 PAGE: 367
 ZONING: RB
 LAND USE: 921

APPROVED CONSTRUCTION PLAN		
	NAME	DATE
PLANNING	Jeff Walter	11-30-16
TRAFFIC	W. Stumbaugh	12-1-16
FIRE	C.J. Walker	12-1-16

City of Wilmington
 NORTH CAROLINA
 Public Services • Engineering Division
APPROVED DRAINAGE PLAN
 Date: 12/1/16 Permit #: 2016044
 Signed: *[Signature]*



SEAL

 WILLIAM Z. SHIPMAN
 ENGINEER
 11-4-16

Know what's below.
 Call before you dig.

HAWTHORNE AT NEW CENTRE CLUBHOUSE & FITNESS CENTER
137 DAPPLE COURT WILMINGTON, NORTH CAROLINA
PROPERTY OWNERSHIP PLAN

T 910 552-0848
 F 910 552-2943

 CURRY ENGINEERS & ARCHITECTS
 EST. 1987
 265 S. Ferry Avenue
 Fayetteville, NC 27315
 NC LIC. NO. P-0789
C-03

REVISIONS

NO.	DATE	PER	TRC	COMMENT
2	10-12-16			PER TRC COMMENT
1	07-21-16			PER TRC COMMENT
1	08-17-16			DATE: 08-17-16

HORIZ. SCALE: SCALE
 ORIG. SHEET. SIZE: 24 x 36
 FILE NO. 2015-083

STREET TREES NOTE: A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT.

GENERAL SITE PLAN NOTES:

- EXISTING CONDITIONS AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY OF THE PROPERTY BY MIKE UNDERWOOD AND ASSOCIATES, DATED FEBRUARY 14, 2016, AND IS NOT THE RESULT OF A FIELD SURVEY BY THE CURRY ENGINEERING GROUP, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, NEW HANOVER COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
- REFER TO EROSION AND SEDIMENT CONTROL PLAN AND CONSTRUCTION SEQUENCE BEFORE PERFORMING ANY CLEARING, GRUBBING, OR DEMOLITION OPERATIONS.
- NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
- AREAS COMPUTED BY THE COORDINATE METHOD.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
- ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
- THE PROPERTY SHOWN IS LOCATED IN FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLANE PER FEMA FIRM MAP NUMBER 3720313700J (PANEL 3137) DATED 04/03/06.
- VERTICAL DATUM: NAVD88, HORIZONTAL DATUM: NAD83
- ALL PROPOSED VEGETATION WITHIN SITE DISTANCE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SITE LINES FROM 30' TO 10'.
- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

CITY OF WILMINGTON STANDARD NOTES:

- PRIOR TO CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING, OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING REGARDING THE INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKINGS PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREA SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND CURBING WILL BE REPLACED.
- CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPERS SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 910-343-3910 FOR INFORMATION.
- ANY IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH A RAIN AND FREEZE SENSOR.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCPOCHR OR ASSE.
- CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES, AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- UNDERGROUND FIRE LINES MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0996.
- NO CONSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING, OR GRADING.

WATER AND SEWER CAPACITY NEEDS
 WATER: 44,400 GPD (CURRENT USE)
 WATER: 46,000 GPD (PROPOSED USE)
 SEWER: 44,400 GPD (CURRENT USE)
 SEWER: 48,000 GPD (PROPOSED USE)

OVERALL PROPERTY WATER/SEWER CALCULATIONS:
 # 1 BEDROOM UNITS: 180 @ 120 GPD
 # 2 BEDROOM UNITS: 120 @ 240 GPD
 180 UNITS x 120 GPD + 120 UNITS x 240 GPD = 43,200 GPD
 EXISTING POOL: 10 GPD/PERSON
 ESTIMATED PEAK USAGE: 120 PEOPLE/DAY OR 1200 GPD
 TOTAL WATER/SEWER DEMAND: 44,400 GPD
 NEW CLUBHOUSE/FITNESS CENTER FACILITY: 50 GPD/100 SF
 PROPOSED WATER DEMAND: 1573 GPD-ASSUME 1600 GPD

SITE DATA TABLE

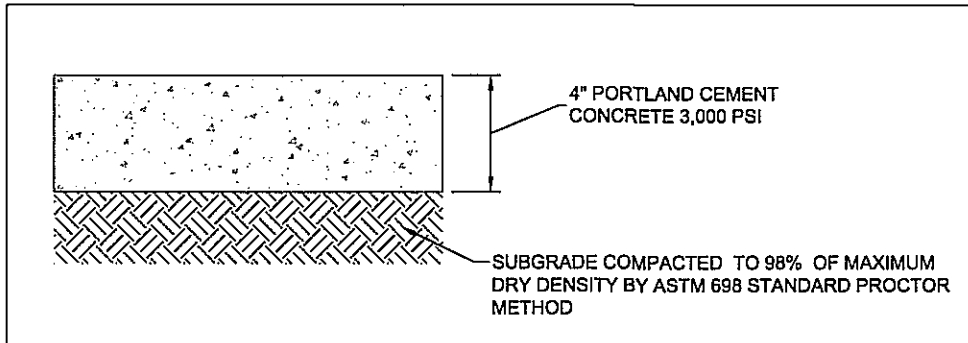
PROJECT NAME:	HAWTHORNE AT NEW CENTRE FITNESS CENTER ADDITION		
PROPERTY OWNER:	NEW CENTRE WILMINGTON, LLC		
PHYSICAL ADDRESS:	137 DAPPLE COURT		
PROPERTY PIN:	R04919-004-024-000		
PROJECT AREA:	0.35 ACRES		
PROPERTY AREA:	15.39 ACRES		
ZONING DISTRICT:	MF-M		
OVERLAY DISTRICT:	N/A		
BUILDING SETBACKS:			
REQUIRED MIN.:	PROPOSED:		
FRONT:	35'	FRONT:	60.21'
SIDE:	20'	SIDE:	26.61'
REAR:	25'	REAR:	25.2'
BUILDING SIZE:	3,186 SF (EXCLUDES COVERED PORCH)		
BUILDING LOT COVERAGE:	EX. RESIDENTIAL BUILDINGS: 101,295 SF (FROM RECORDS)		
	PROPOSED FITNESS CENTER: 3,186 SF		
	TOTAL BUILDING AREA: 103,303 SF		
	BL C % = 104,481 SF / (15.39 AC * 435,600) = 15.59%		
BUILDING HEIGHT:	19'-5"		
NUMBER OF STORIES:	3		
IMPERVIOUS AREAS:	9,883 SF (ON-SITE NEW IMPERVIOUS)		
	295 SF (OFF-SITE NEW IMPERVIOUS)		
	9,990 (TOTAL NEW IMPERVIOUS)		
EXISTING BUILDINGS:	101,295 SF	PROPOSED BUILDINGS:	104,920 SF
EXISTING ASPHALT & CURB:	263,236 SF	PROPOSED ASPHALT & CURB:	267,759 SF
EXISTING CONCRETE:	42,032 SF	PROPOSED CONCRETE:	43,612 SF
		PROPOSED OTHER:	67 SF
		PROPOSED OFFSITE:	295 SF
EXISTING, TOTAL SITE:	406,563 SF	PROPOSED, TOTAL SITE:	416,563 SF
CAMA LAND USE CLASSIFICATION:	DEVELOPED		

CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.

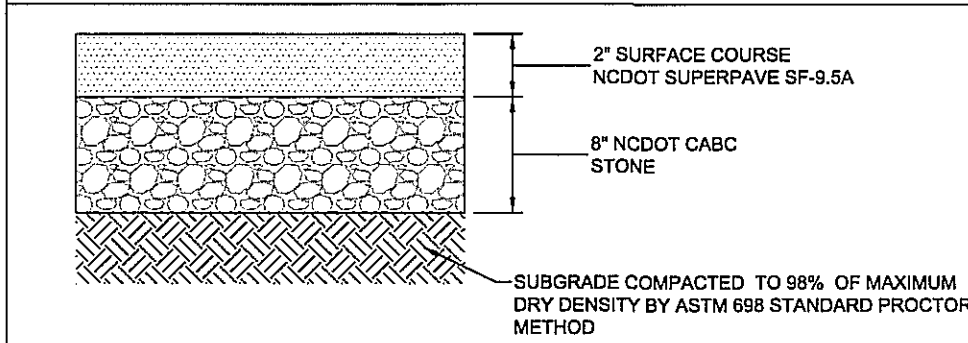
ALL PROPOSED VEGETATION WITHIN THE SIGHT DISTANCE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10' ABOVE THE GROUND.

PARKING CALCULATIONS:

EXISTING RESIDENTIAL UNIT COUNT:	
# OF 1 BEDROOM UNITS:	180
# OF 2 BEDROOM UNITS:	120
PROPOSED FITNESS CENTER ADDITION:	3,186 SF
CITY OF WILMINGTON REQUIRED PARKING CRITERIA:	
1 BEDROOM RESIDENTIAL:	1.5 SPACES PER UNIT
2 BEDROOM RESIDENTIAL:	2 SPACES PER UNIT
FITNESS CENTER:	1 SPACE PER 400 SF MIN 1 SPACE PER 200 SF MAX
REQUIRED PARKING:	
1 BEDROOM RESIDENTIAL:	270 SPACES
2 BEDROOM RESIDENTIAL:	240 SPACES
FITNESS CENTER:	8 SPACES MINIMUM 16 SPACES MAXIMUM
TOTAL MINIMUM REQUIRED:	516 SPACES
PROVIDED PARKING:	
EX. PARKING SPACES-MAIN BLDGS:	549
PROPOSED FINAL PARKING:	
EX. PARKING SPACES-MAIN BUILDINGS TO REMAIN:	549
PROPOSED SPACES IN FITNESS CENTER LOT:	8
TOTAL PARKING SPACES:	557
NEW ACCESSIBLE PARKING REQ'D:	1
NEW ACCESSIBLE PARKING PROVIDED:	1
EXISTING BICYCLE PARKING PROVIDED:	8 SPACES (4 RACKS)
TOTAL BICYCLE PARKING REQ'D-EXISTING:	20 SPACES
NEW BICYCLE PARKING REQ'D:	12 SPACES (1 RACK)
NEW BICYCLE PARKING PROVIDED:	14 SPACES (1 RACK)



STANDARD CONCRETE SIDEWALK
NOT TO SCALE



MEDIUM DUTY ASPHALT PAVEMENT
NOT TO SCALE

PROPOSED BUILDING CONSTRUCTION TYPE: V-B

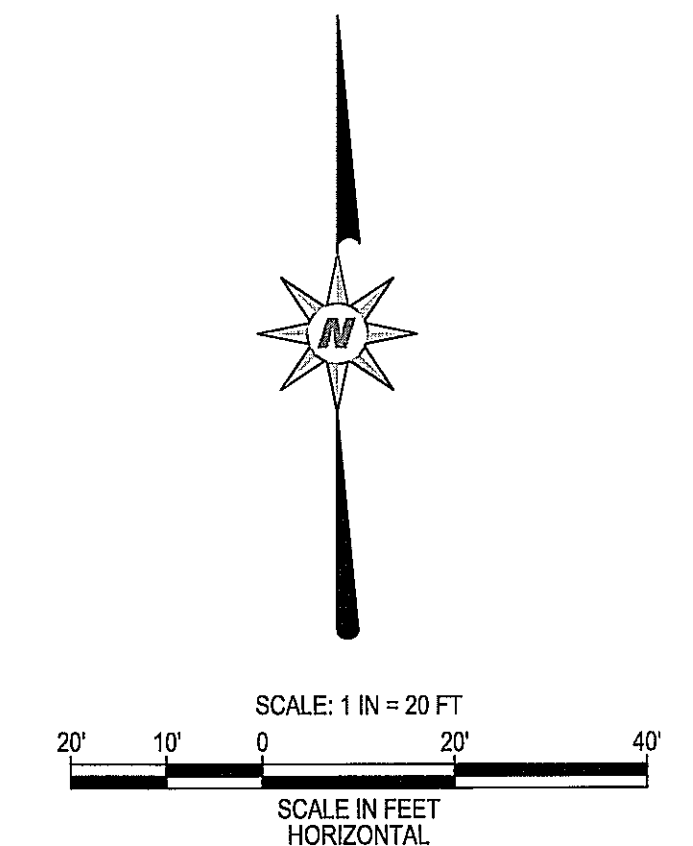
WATER PROVIDER: CAPE FEAR PUBLIC UTILITY AUTHORITY
 SANITARY SEWER PROVIDER: CAPE FEAR PUBLIC UTILITY AUTHORITY

IMPORTANT NOTE: ALL CONSTRUCTION SHALL COMPLY WITH CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.

APPROVED CONSTRUCTION PLAN

NAME	DATE
PLANNING <i>Jeff Walker</i>	11-30-16
TRAFFIC <i>W. Edwards</i>	12-1-16
FIRE <i>C. J. Williams</i>	12/1/16

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 12/1/16 Permit: 2016044
 Signed: *[Signature]*



HAWTHORNE AT NEW CENTRE CLUBHOUSE & FITNESS CENTER
137 DAPPLE COURT WILMINGTON, NORTH CAROLINA
SITE PLAN

208 S. Pineapple Avenue
 Fayetteville, NC 27808
 (919) 865-2940
 (919) 552-2943
 CURRY ENGINEERING
 NC LIC. NO. P-0799
 EST. 1978

Curry
ENGINEERING

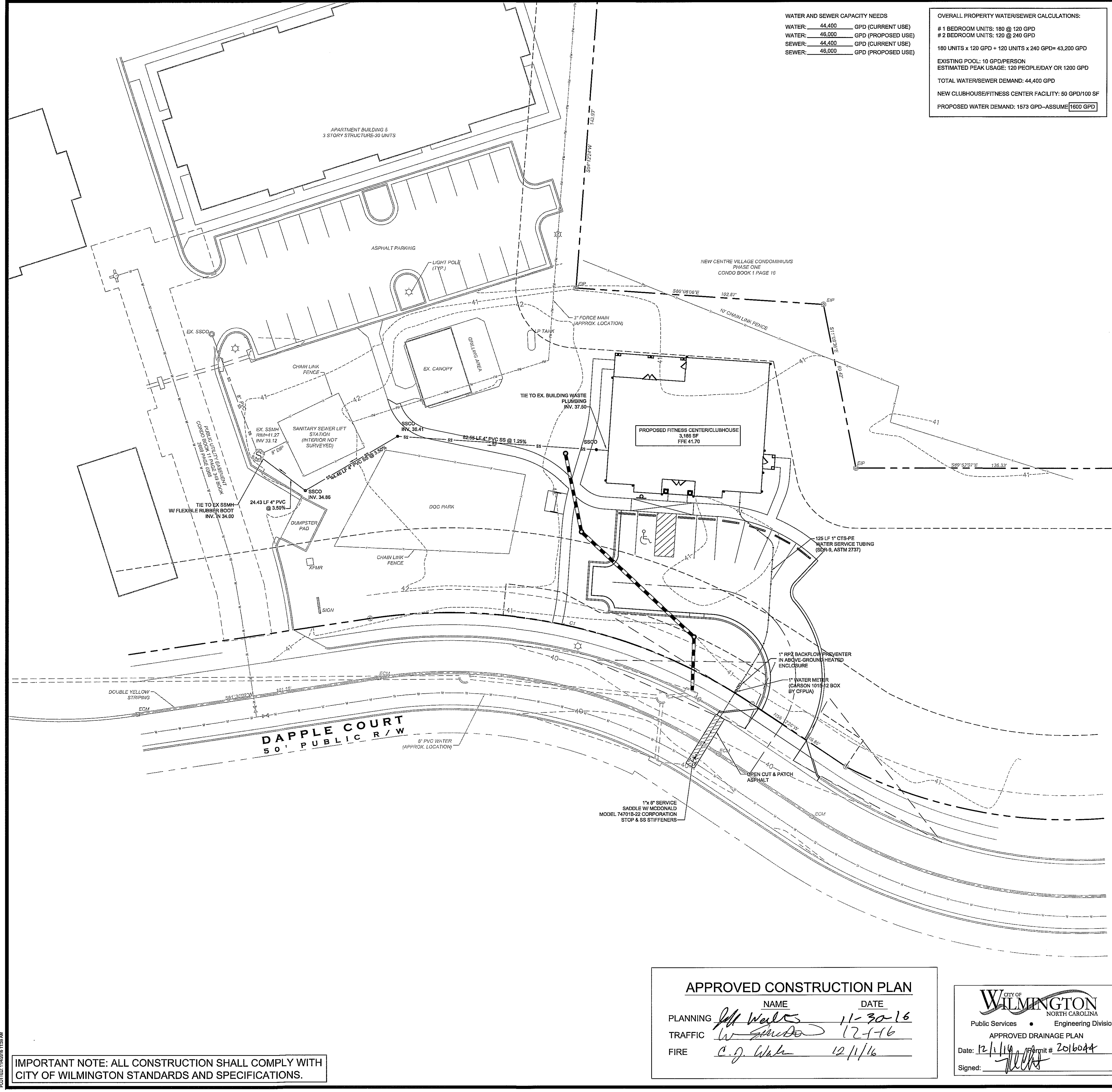
C-04

PLOTTED: 11/30/16 10:28 AM
 FILED: 11/30/16 10:28 AM
 CURRY ENGINEERING

REVISIONS

1	10-12-16	PER TRC COMMENT
2	07-21-16	PER TRC COMMENT

DATE: 05-17-16
 HORIZ. SCALE: 1" = 40'
 VERT. SCALE: 1" = 4'
 CURR. SHEET SIZE: 24" x 36"



WATER AND SEWER CAPACITY NEEDS
 WATER: 44,400 GPD (CURRENT USE)
 WATER: 48,000 GPD (PROPOSED USE)
 SEWER: 44,400 GPD (CURRENT USE)
 SEWER: 48,000 GPD (PROPOSED USE)

OVERALL PROPERTY WATER/SEWER CALCULATIONS:
 # 1 BEDROOM UNITS: 180 @ 120 GPD
 # 2 BEDROOM UNITS: 120 @ 240 GPD
 180 UNITS x 120 GPD + 120 UNITS x 240 GPD = 43,200 GPD
 EXISTING POOL: 10 GPD/PERSON
 ESTIMATED PEAK USAGE: 120 PEOPLE/DAY OR 1200 GPD
 TOTAL WATER/SEWER DEMAND: 44,400 GPD
 NEW CLUBHOUSE/FITNESS CENTER FACILITY: 50 GPD/100 SF
 PROPOSED WATER DEMAND: 1573 GPD-ASSUME 1600 GPD

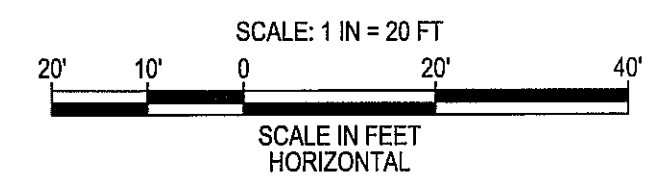
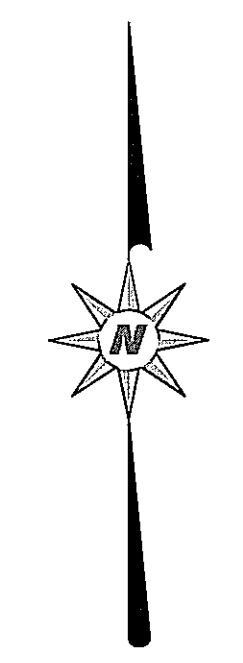
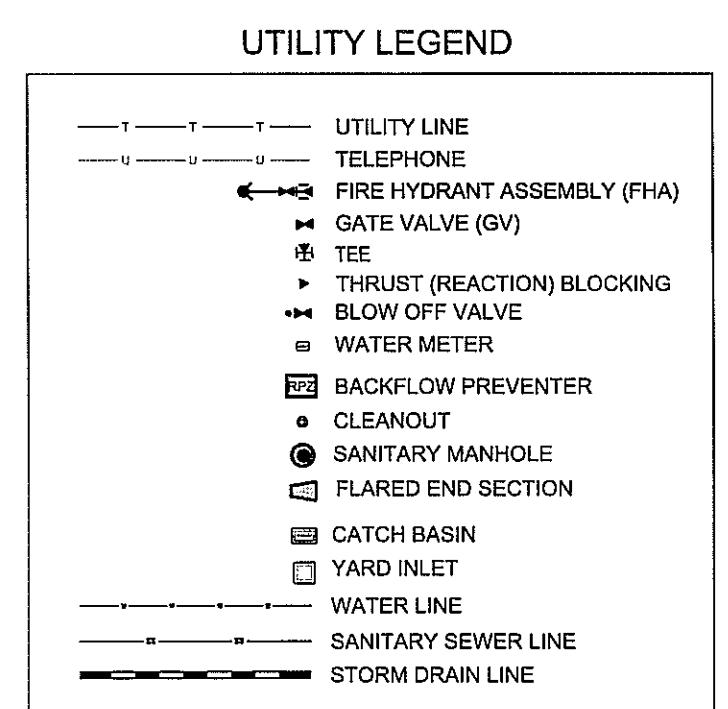
- GENERAL NOTES:**
- EXISTING CONDITIONS AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY OF THE PROPERTY BY MIKE UNDERWOOD AND ASSOCIATES, DATED FEBRUARY 14, 2016, AND IS NOT THE RESULT OF A FIELD SURVEY BY THE CURRY ENGINEERING GROUP, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, NEW HANOVER COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
 - COMPLY WITH LOCAL SPECIFICATIONS WITH REGARDS TO MATERIALS, INSTALLATION, AND TESTING OF THE WATER AND SEWER LINES. IN THE EVENT OF A CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS, OR PLANS, THE MOST STRINGENT SHALL GOVERN UNLESS OTHERWISE NOTED ON THE PLANS.
 - COORDINATE WITH ALL APPROPRIATE UTILITY PROVIDERS FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. WATER AND SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) STANDARDS AND SPECIFICATIONS.
 - ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS AND/OR TESTING REQUIRED BY CODES OR UTILITY SERVICE PROVIDERS SHALL BE PERFORMED PRIOR TO THE FINAL CONNECTION OF SERVICE.
 - CONTRACTOR SHALL NOTIFY CFPUA INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
 - CONTRACTOR SHALL MAINTAIN MINIMUM COVER REQUIREMENTS ON ALL WATER AND SEWER LINES AT ALL TIMES DURING CONSTRUCTION.
 - UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO BACKFILLING.
 - EXISTING UNDERGROUND UTILITY LINES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND FIELD VERIFIED PRIOR TO CONSTRUCTION ACTIVITY.

LOCATION OF SANITARY SEWERS IN RELATION TO WATER AND STORM SEWERS:

- A. SEWERS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10 FOOT SEPARATION, THE APPROPRIATE REVIEWING AGENCY (DEH OR DENR) MAY ALLOW DEVIATION ON A CASE BY CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION MAY ALLOW INSTALLATION OF THE SEWER CLOSER TO A WATER MAIN, PROVIDED THAT THE WATER MAIN IS IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELVE LOCATED ON ONE SIDE OF THE SEWER AND AT AN ELEVATION SO THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
- B. IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS DESCRIBED ABOVE OR ANYTIME THE SEWER IS OVER THE WATER MAIN, BOTH WATER MAIN AND SEWER MUST BE CONSTRUCTED OF FERROUS PIPE COMPLYING WITH PUBLIC WATER SUPPLY DESIGN STANDARDS AND BE PRESSURE TESTED TO 150 PSI TO ASSURE WATERTIGHTNESS BEFORE BACKFILLING.
- C. A 24 INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR FERROUS PIPE SPECIFIED.
- CROSSINGS:**
- A. SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
- B. WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, ONE OF THE FOLLOWING METHODS MUST BE SPECIFIED
- THE SEWER SHALL BE DESIGNED AND CONSTRUCTED OF FERROUS PIPE AND SHALL BE PRESSURE TESTED AT 150 PSI TO ASSURE WATERTIGHTNESS PRIOR TO BACKFILLING, OR
 - EITHER THE WATER MAIN OR THE SEWER LINE MAY BE ENCASED IN A WATERTIGHT CARRIER PIPE WHICH EXTENDS 10 FEET ON BOTH SIDES OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE OF MATERIALS APPROVED BY THE REGULATORY AGENCY OF USE IN WATER MAIN CONSTRUCTION.

NOTE: WATER AND SANITARY SEWER SERVICE LATERALS TO BE PRIVATELY OWNED AND MAINTAINED.

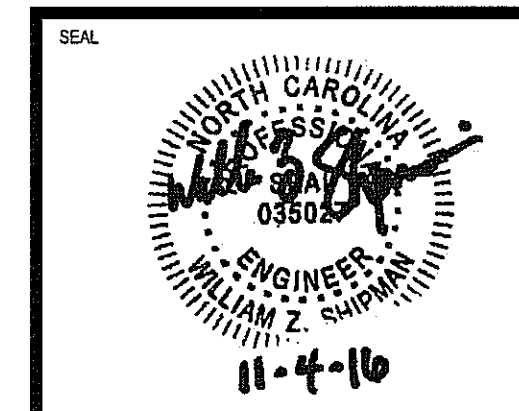
IMPORTANT NOTE: EXISTING SEWER LINES SHOWN ARE LOCATED FROM ABOVE GROUND EVIDENCE AND AVAILABLE HISTORICAL RECORDS. PIPE DIAMETERS, DEPTHS, AND MATERIALS WERE UNABLE TO BE DETERMINED VIA TRADITIONAL SURVEY METHODS AND SHOULD BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF DISCREPANCIES ARE NOTED.



APPROVED CONSTRUCTION PLAN

	NAME	DATE
PLANNING	<i>Jeff Walters</i>	11-30-16
TRAFFIC	<i>W. Shubert</i>	12-1-16
FIRE	<i>C.J. Wake</i>	12/1/16

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 12/1/16 Permit # 2016044
 Signed: *[Signature]*



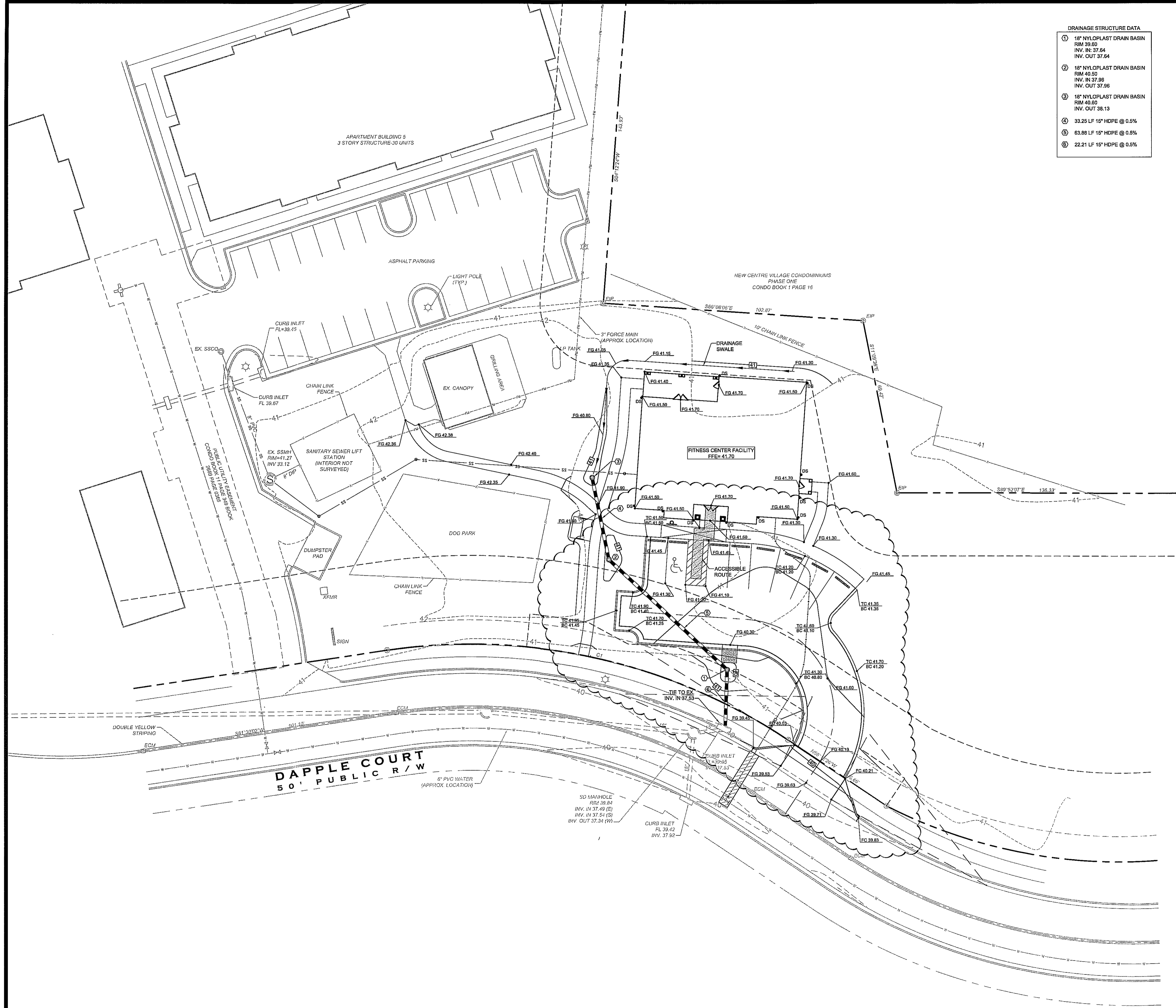
IMPORTANT NOTE: ALL CONSTRUCTION SHALL COMPLY WITH CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.

**HAWTHORNE AT NEW CENTRE CLUBHOUSE & FITNESS CENTER
 137 DAPPLE COURT WILMINGTON, NORTH CAROLINA
 UTILITY PLAN**

Curry ENGINEERING
 208 S. E. 1st Street
 Fayetteville, NC 27808
 T 919.465.2646
 F 919.465.2643
 CURRY ENGINEERING GROUP, PLLC
 NC LIC. NO. P-0789
 C-05

NO.	DATE	DESCRIPTION
1	07-21-16	PER TRC COMMENT
2	10-12-16	PER TRC COMMENT

DATE: 05-17-16
 FILE NO. 2015-083
 HORIZ. SCALE: SCALE
 VERT. SCALE: SCALE
 CORR. SHEET SIZE: 24" x 36"



DRAINAGE STRUCTURE DATA

①	16" NYLOPLAST DRAIN BASIN	RIM 38.60	INV. IN: 37.64	INV. OUT: 37.64
②	16" NYLOPLAST DRAIN BASIN	RIM 40.50	INV. IN: 37.96	INV. OUT: 37.96
③	16" NYLOPLAST DRAIN BASIN	RIM 40.50	INV. OUT: 38.13	
④	33.25 LF 16" HDPE @ 0.5%			
⑤	63.88 LF 16" HDPE @ 0.5%			
⑥	22.21 LF 16" HDPE @ 0.5%			

GENERAL NOTES:

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- COORDINATE WITH ALL APPROPRIATE UTILITY PROVIDERS FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. WATER AND SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH CAPE FEAR PUBLIC UTILITY AUTHORITY (CPFA) STANDARDS AND SPECIFICATIONS.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS AND/OR TESTING REQUIRED BY CODES OR UTILITY SERVICE PROVIDERS SHALL BE PERFORMED PRIOR TO THE FINAL CONNECTION OF SERVICE.
- CONTRACTOR SHALL NOTIFY CPFA INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- CONTRACTOR SHALL MAINTAIN MINIMUM COVER REQUIREMENTS ON ALL WATER AND SEWER LINES AT ALL TIMES DURING CONSTRUCTION.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO BACKFILLING.
- EXISTING UNDERGROUND UTILITY LINES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND FIELD VERIFIED PRIOR TO CONSTRUCTION ACTIVITY.
- ACCESSIBLE PARKING SPACES SHALL CONFORM WITH ADAAG REGULATIONS AND NC BUILDING CODE. THE MAXIMUM SLOPE IN ANY ACCESSIBLE PARKING AREA IS 2% IN ANY DIRECTION. THE MAXIMUM LONGITUDINAL SLOPE OF ANY ACCESSIBLE ROUTE SHALL BE 5% AND THE MAXIMUM GROSS SLOPE OF ANY ACCESSIBLE ROUTE SHALL BE 2%. CONCRETE FLATWORK AREAS ALONG THE ACCESSIBLE ROUTE WHICH DO NOT COMPLY WITH APPLICABLE ADAAG REGULATIONS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

HAWTHORNE AT NEW CENTRE CLUBHOUSE & FITNESS CENTER
137 DAPPLE COURT WILMINGTON, NORTH CAROLINA
GRADING & DRAINAGE PLAN

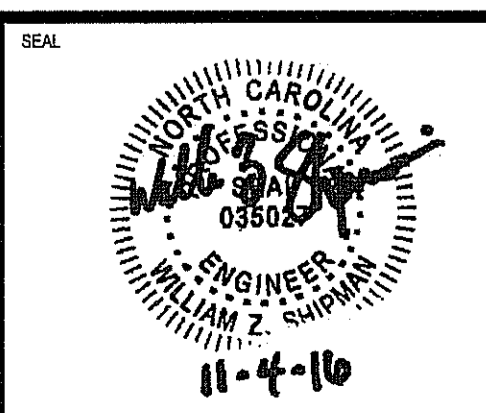
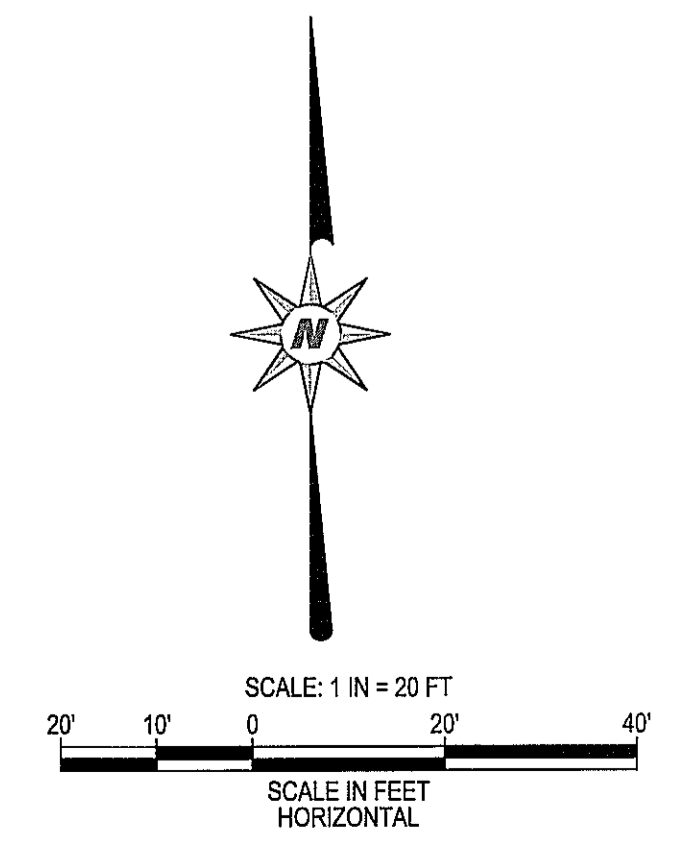
UTILITY LEGEND

	UTILITY LINE
	TELEPHONE
	FIRE HYDRANT ASSEMBLY (FHA)
	GATE VALVE (GV)
	TEE
	THRUST (REACTION) BLOCKING
	BLOW OFF VALVE
	WATER METER
	BACKFLOW PREVENTER
	CLEANOUT
	SANITARY MANHOLE
	FLARED END SECTION
	CATCH BASIN
	YARD INLET
	WATER LINE
	SANITARY SEWER LINE
	STORM DRAIN LINE

APPROVED CONSTRUCTION PLAN

NAME	DATE
PLANNING <i>John Walker</i>	11-30-16
TRAFFIC <i>W. Spindler</i>	12-1-16
FIRE <i>C.J. Walker</i>	12/1/16

Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 12/1/16 Permit # 2016044
 Signed: *[Signature]*



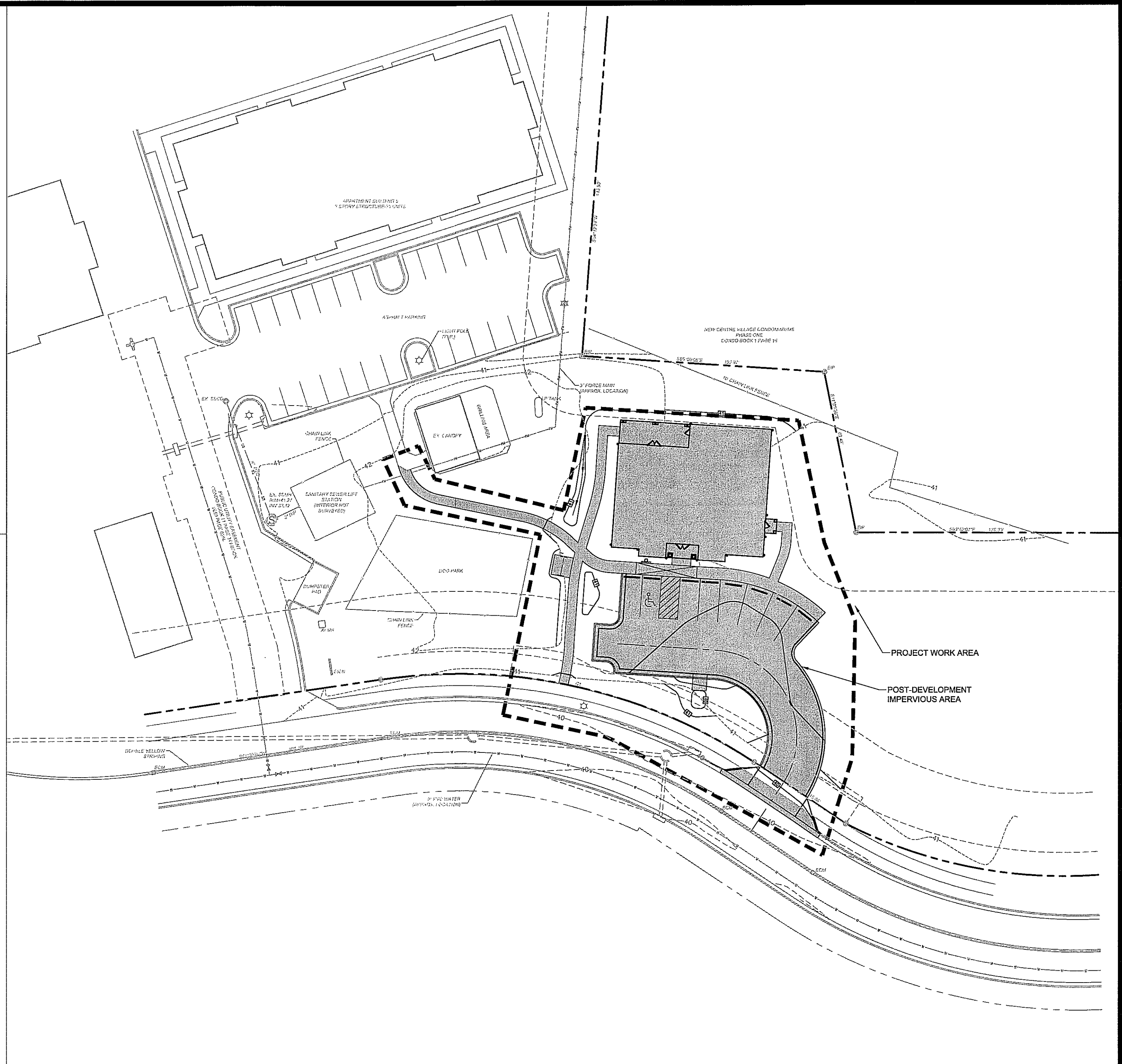
CURRY ENGINEERING
 EST. 1958
 11-4-16
 C-06

Z:\PROJECTS\2016\137 DAPPLE COURT NEW CENTRE FITNESS CENTER\ANSWER SET PLAN SHEET FILED 06-26 GRADING AND DRAINAGE PLAN.DWG
 PLOTTED: 11/16/16 12:37 PM

IMPORTANT NOTE: ALL CONSTRUCTION SHALL COMPLY WITH CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.



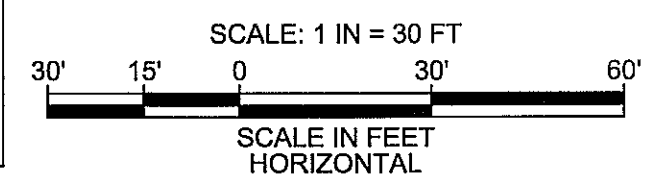
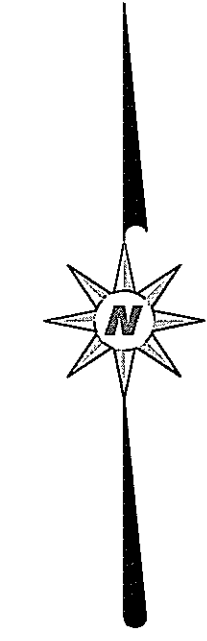
PRE-DEVELOPMENT DRAINAGE AREA AND IMPERVIOUS AREAS
SCALE: 1"=30'



POST-DEVELOPMENT DRAINAGE AREA AND IMPERVIOUS AREAS
SCALE: 1"=30'

	PRE DEVELOPMENT	POST DEVELOPMENT
IMPERVIOUS AREA:	141 SF (0.006 AC.)	9,990 SF (0.23 AC.)

	PRE DEVELOPMENT	POST DEVELOPMENT	
EXISTING BUILDINGS:	101,295 SF	PROPOSED BUILDINGS:	104,920 SF
EXISTING ASPHALT & CURB:	263,236 SF	PROPOSED ASPHALT & CURB:	267,799 SF
EXISTING CONCRETE:	42,032 SF	PROPOSED CONCRETE:	43,512 SF
EXISTING, TOTAL SITE:	406,563 SF	PROPOSED OFFSITE:	295 SF
		PROPOSED OTHER:	67 SF
		PROPOSED, TOTAL SITE:	416,553 SF
		PERCENTAGE INCREASE:	2.45%



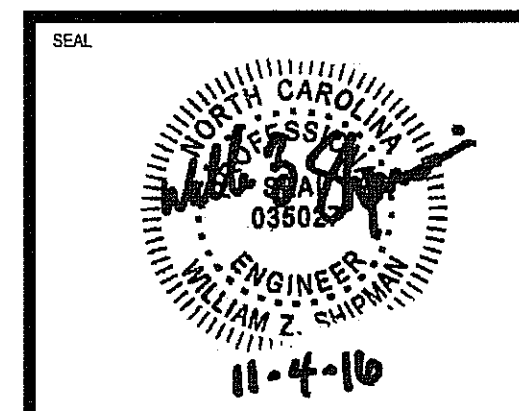
IMPORTANT NOTE: ALL CONSTRUCTION SHALL COMPLY WITH CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.

APPROVED CONSTRUCTION PLAN

	NAME	DATE
PLANNING	<i>Jeff Walden</i>	11-30-16
TRAFFIC	<i>W. ...</i>	12-1-16
FIRE	<i>C. J. ...</i>	12/1/16

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division

APPROVED DRAINAGE PLAN
Date: 12/1/16
Signed: *[Signature]*



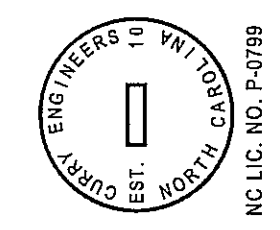
HAWTHORNE AT NEW CENTRE CLUBHOUSE & FITNESS CENTER
137 DAPPLE COURT WILMINGTON, NORTH CAROLINA
HYDROLOGY PLAN

REVISIONS

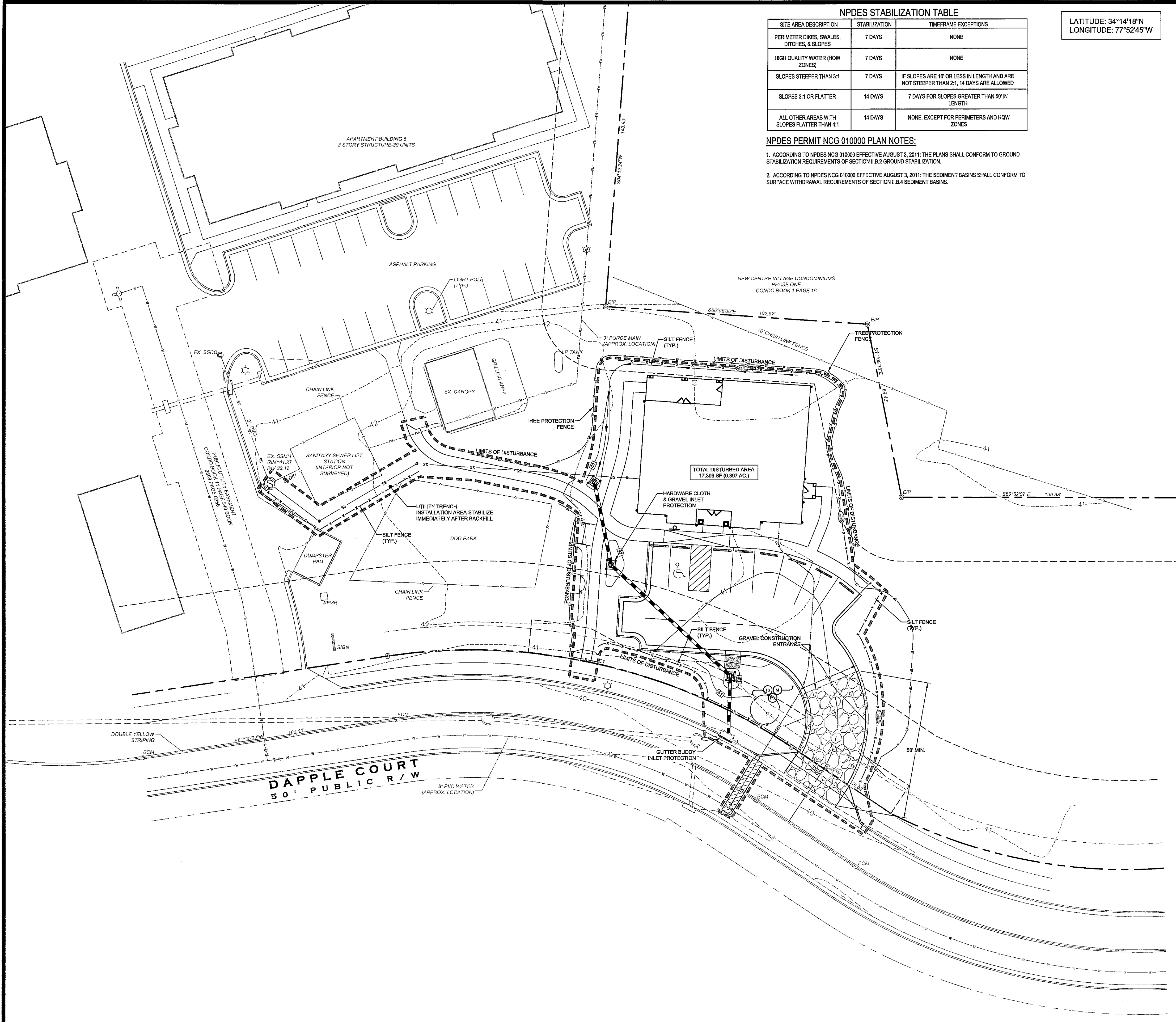
NO.	DATE	DESCRIPTION
1	07-21-16	PER TRC COMMENT
2	10-12-16	PER TRC COMMENT

DATE: 05-17-16
FILE NO: 2015-083
HORIZ. SCALE: SCALE
ORIG. SHEET SIZE: 24 x 36

208 S. Pinyon Avenue
Fayetteville, NC 27808
T 703.962.9400
F 919.552.2403



Curry
ENGINEERING
C-07



NPDES STABILIZATION TABLE

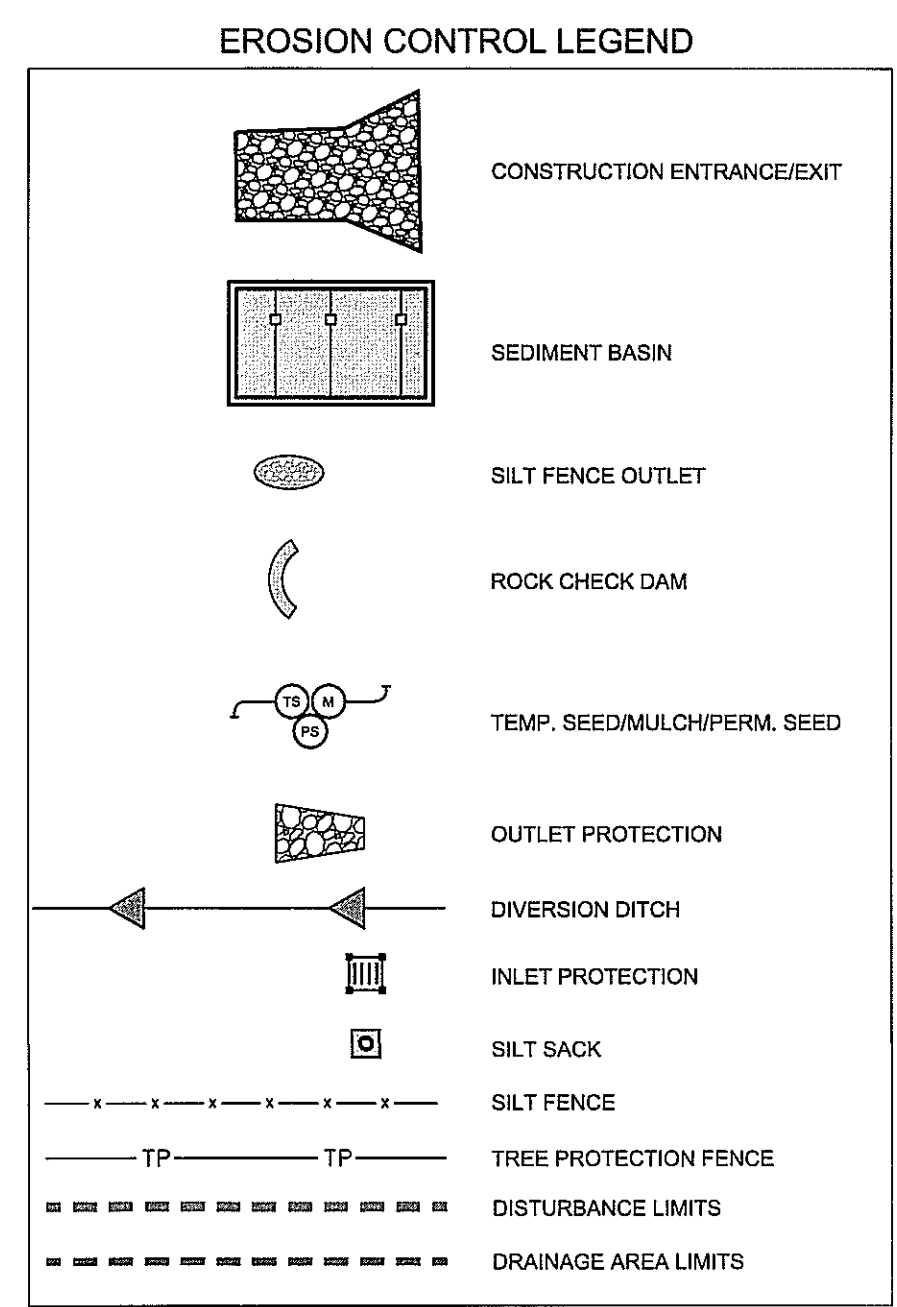
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES, & SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW ZONES)	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE, EXCEPT FOR PERIMETERS AND HOW ZONES

LATITUDE: 34°14'18"N
LONGITUDE: 77°52'45"W

- NPDES PERMIT NCG 010000 PLAN NOTES:**
- ACCORDING TO NPDES NCG 010000 EFFECTIVE AUGUST 3, 2011: THE PLANS SHALL CONFORM TO GROUND STABILIZATION REQUIREMENTS OF SECTION II.B.2 GROUND STABILIZATION.
 - ACCORDING TO NPDES NCG 010000 EFFECTIVE AUGUST 3, 2011: THE SEDIMENT BASINS SHALL CONFORM TO SURFACE WITHDRAWAL REQUIREMENTS OF SECTION II.B.4 SEDIMENT BASINS.

- GENERAL SITE PLAN NOTES:**
- EXISTING CONDITIONS AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY OF THE PROPERTY BY MIKE UNDERWOOD AND ASSOCIATES, DATED FEBRUARY 14, 2016, AND IS NOT THE RESULT OF A FIELD SURVEY BY THE CURRY ENGINEERING GROUP, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, NEW HANOVER COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
 - REFER TO EROSION AND SEDIMENT CONTROL PLAN AND CONSTRUCTION SEQUENCE BEFORE PERFORMING ANY CLEARING, GRUBBING, OR DEMOLITION OPERATIONS.
 - ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
 - THE PROPERTY SHOWN IS LOCATED IN FLOOD ZONE 'X', AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLANE PER FEMA FIRM MAP NUMBER 3720313700J (PANEL 3137) DATED 04/03/06.
 - PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

- EROSION CONTROL CONSTRUCTION SEQUENCE:**
- A LAND DISTURBANCE PRECONSTRUCTION CONFERENCE IS REQUIRED PRIOR TO ANY DISTURBANCE ON SITE. THIS PRECONSTRUCTION CONFERENCE MAY BE COMBINED WITH OTHER PRECONSTRUCTION MEETINGS AS NECESSARY. THE MEETING SHALL BE BETWEEN THE OWNER, NEW HANOVER COUNTY INSPECTIONS STAFF (IF REQUIRED), THE ENGINEER, AND GENERAL CONTRACTOR. THE CONTRACTOR SHALL SCHEDULE THE MEETING TO OCCUR AT LEAST 48 HOURS PRIOR TO ANY DISTURBANCE ON SITE.
 - INSTALL SILT FENCE AROUND THE PERIMETER OF THE WORK SITE, DISTURBING ONLY THOSE AREAS NECESSARY TO INSTALL THE FENCE. REMOVE EXISTING FEATURES AS NEEDED TO INSTALL THE FENCE, AS OUTLINED ON THE DEMOLITION PLAN.
 - PLACE PEDESTRIAN BARRICADES ON SIDEWALKS AS SHOWN ON THE DEMOLITION PLAN AND EROSION CONTROL PLAN.
 - ONCE SILT FENCE IS INSTALLED, BEGIN CLEARING, GRUBBING, AND STRIPING OF THE SITE. STRIP AND STOCKPILE TOPSOIL FOR SIFTING, DRYING, AND TESTING.
 - SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT AND SIDEWALK AS SHOWN ON THE DEMOLITION PLAN. DISPOSE OF CONSTRUCTION DEBRIS IN AN APPROVED LANDFILL.
 - BEGIN ROUGH GRADING THE SITE TO CREATE A BUILDING PAD AS NEEDED. PLACE FILL MATERIAL UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER.
 - BEGIN CONSTRUCTION OF NEW BUILDING FACILITY.
 - INSTALL ROOF DRAINAGE LEADERS, DRAIN TILE, AND OTHER STORMWATER PIPING.
 - INSTALL CONCRETE FLATWORK AND SIDEWALK AREAS. COMPLETE FINE GRADING OF ANY DISTURBED AREAS.
 - STRIP PARKING LOT AND INSTALL FINAL SITE IMPROVEMENTS (BOLLARDS, WHEEL STOPS, ETC.).
 - INSTALL LANDSCAPING SHRUBS, TREES, AND GROUND COVER. STABILIZE ALL REMAINING DISTURBED AREAS WITH PERMANENT SEEDING OR SOD AS SHOWN ON THE LANDSCAPING PLANS.
 - ONCE SITE IS PERMANENTLY STABILIZED, REMOVE ALL SILT FENCE AND OTHER TEMPORARY EROSION CONTROL MEASURES. STABILIZE REMAINING FINAL AREAS ALTERED DURING THE REMOVAL OF EROSION CONTROL MEASURES.



IMPORTANT NOTE: ALL CONSTRUCTION SHALL COMPLY WITH CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.

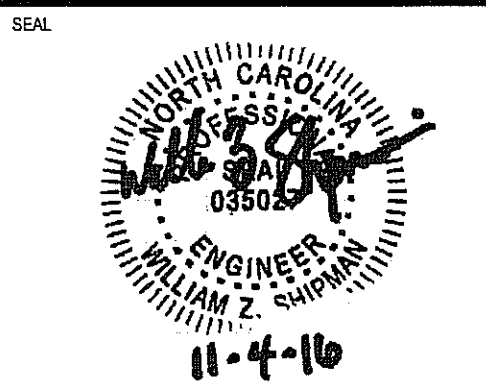
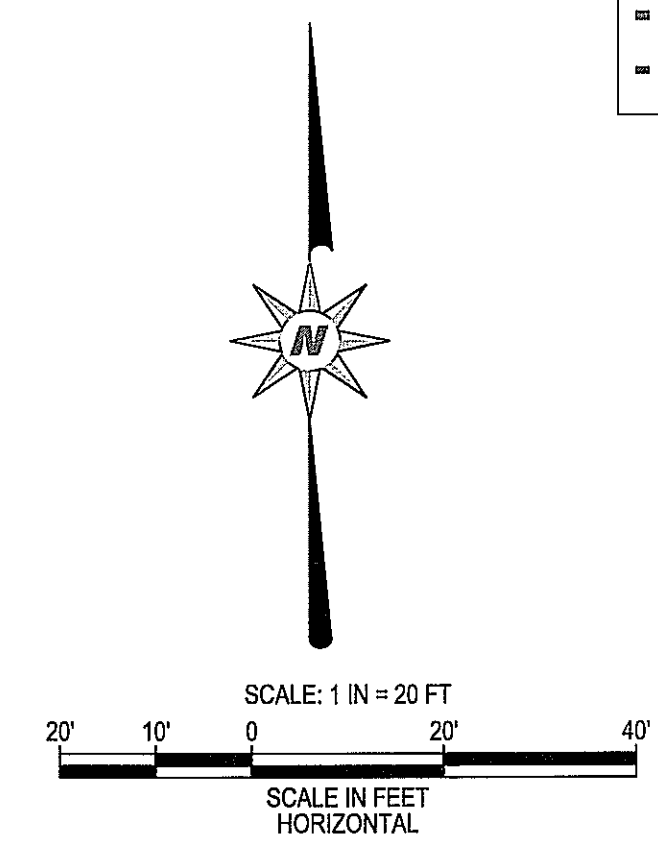
APPROVED CONSTRUCTION PLAN

	NAME	DATE
PLANNING	Jeff Wake	11-30-16
TRAFFIC	W. Strada	12-1-16
FIRE	C. J. Wake	12/1/16

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division

APPROVED DRAINAGE PLAN

Date: 12/1/16 Permit # 2016044
Signed: *[Signature]*



HAWTHORNE AT NEW CENTRE CLUBHOUSE & FITNESS CENTER
137 DAPPLE COURT WILMINGTON, NORTH CAROLINA
EROSION CONTROL PLAN

203 S. Poinsett Avenue
Fayetteville, NC 27808
T 919 555-0649
F 919 555-0643

CURRY ENGINEERING & ARCHITECTURE
INC. NC LIC. NO. P-0799

Curry
ENGINEERING

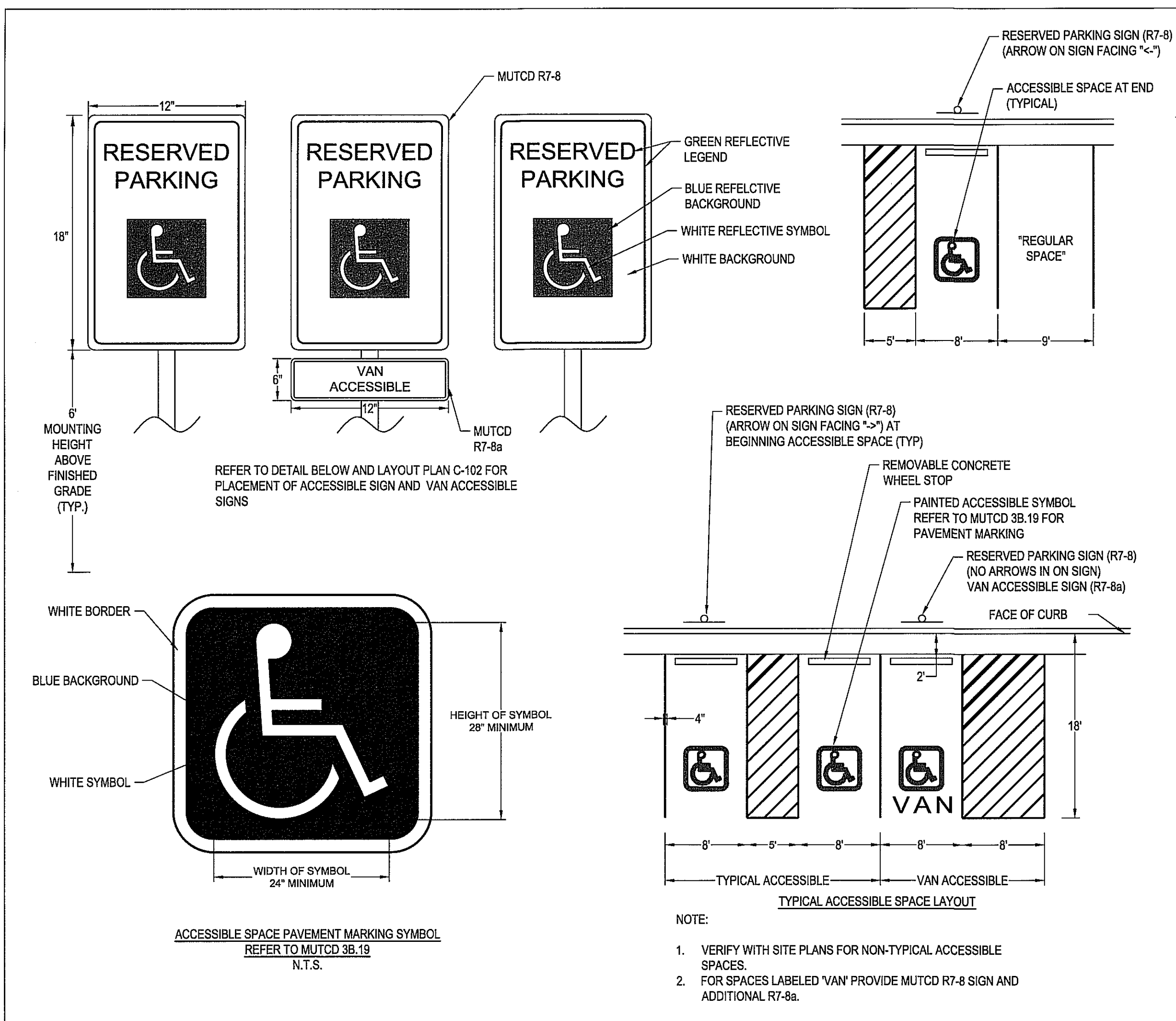
C-08

REVISONS

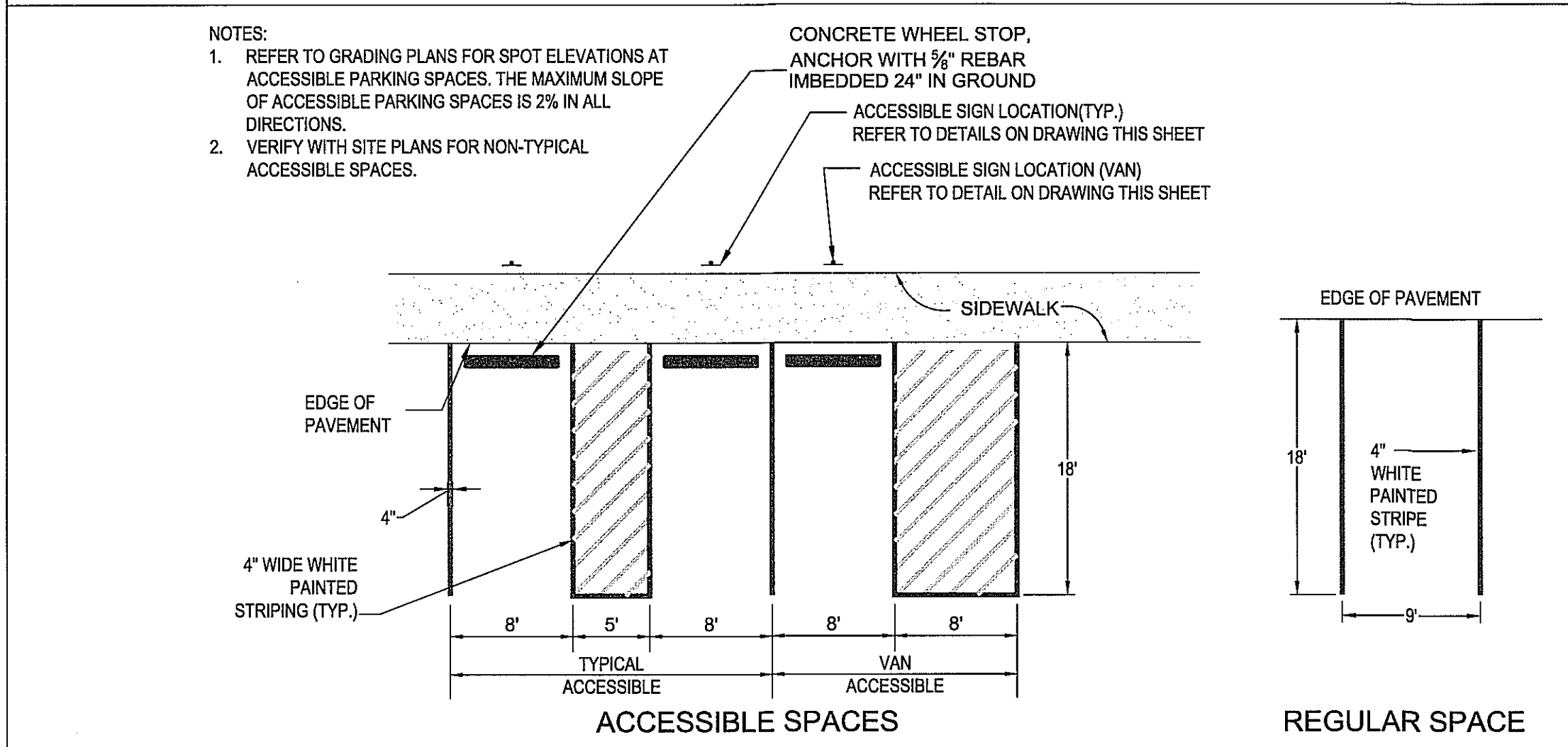
NO.	DATE	PER. TRC.	COMMENT
1	07-21-16	PER	TRC COMMENT
2	10-12-16	PER	TRC COMMENT

DATE: 06-17-16
FILE NO. 2015-083
ORIG. SCALE: SCALE
HORZ. SCALE: SCALE
VERT. SCALE: SCALE
ORIG. SHEET SIZE: 24 x 36

Z:\PROJECTS\FOLDER_ZEBLON\2015-08-NEW CENTRE FITNESS CENTER\ANSI SITE PLAN SHEET FILES\EROSION CONTROL PLAN.DWG
PLOTTER: HPGLASER 5487PM



1 ACCESSIBLE PARKING SPACE MARKING AND SIGNAGE
D-01 SCALE: N.T.S.

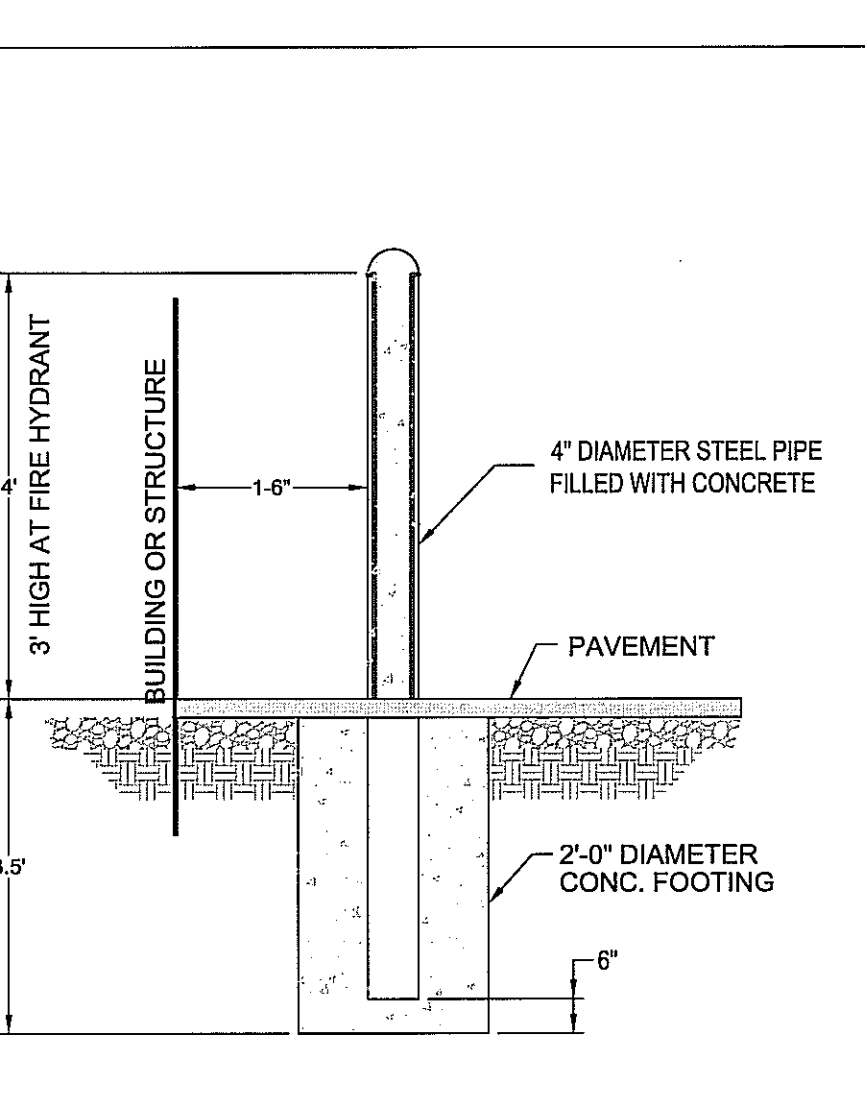
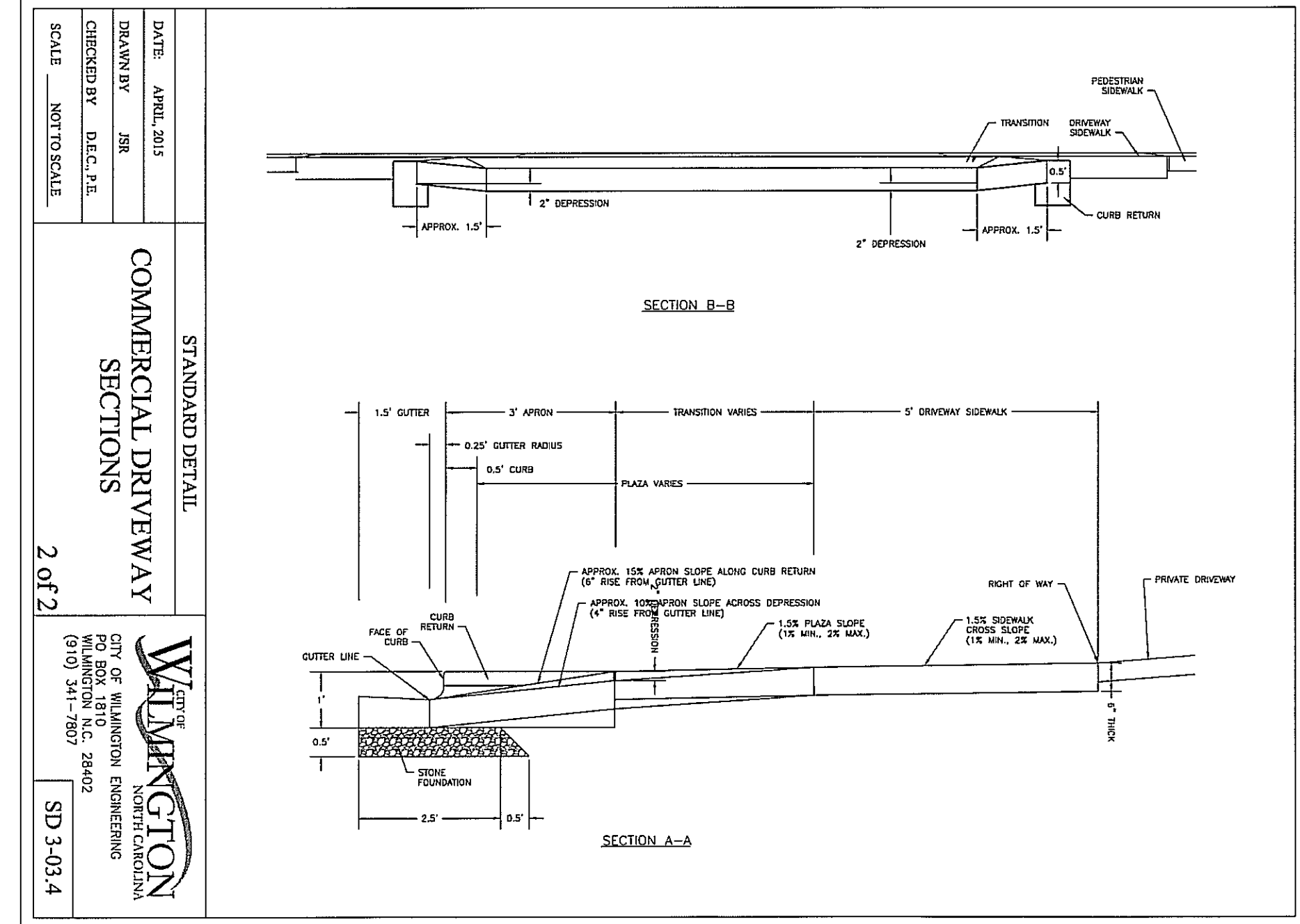
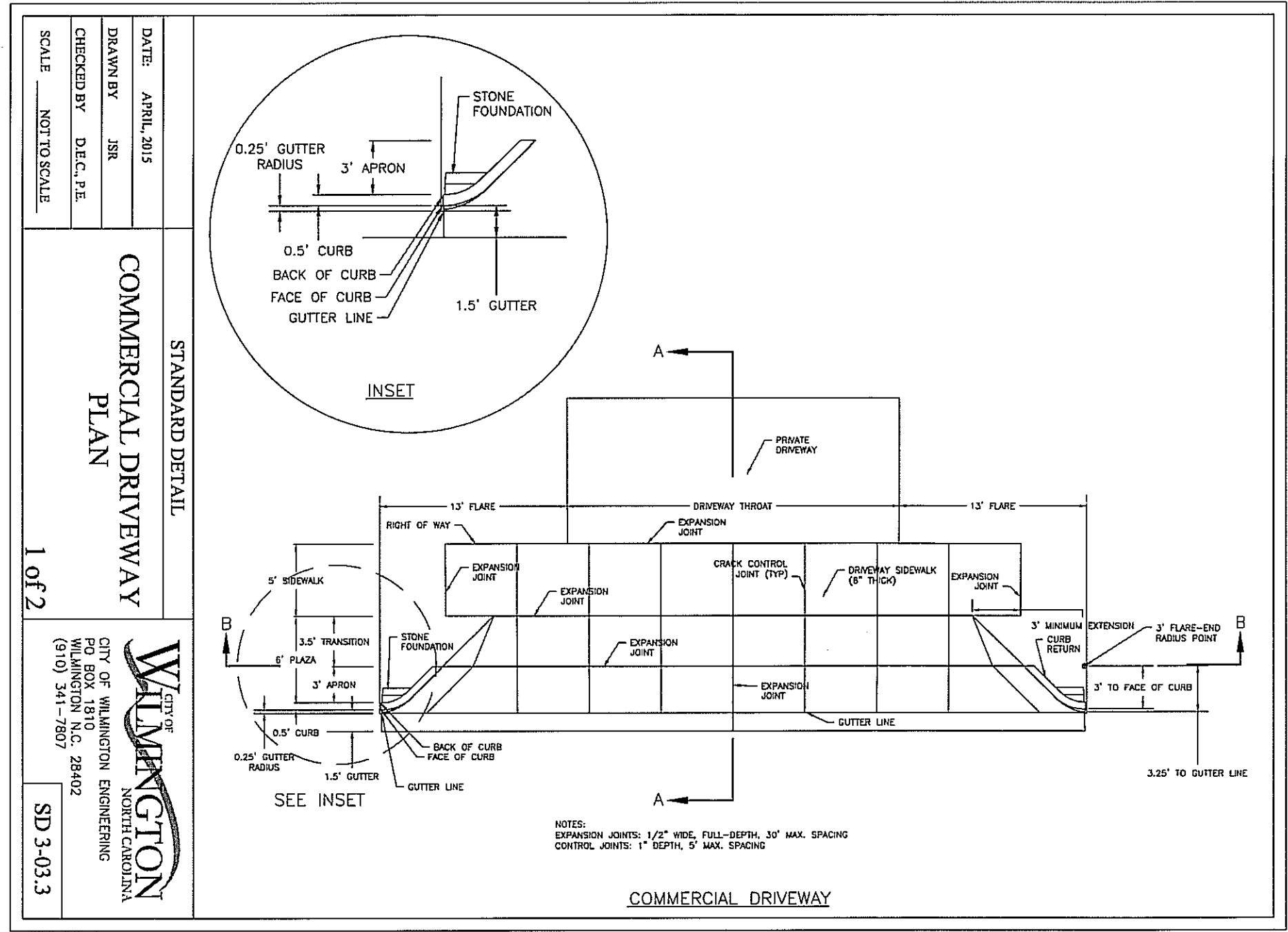


2 PARKING SPACE STRIPING
D-01 SCALE: N.T.S.

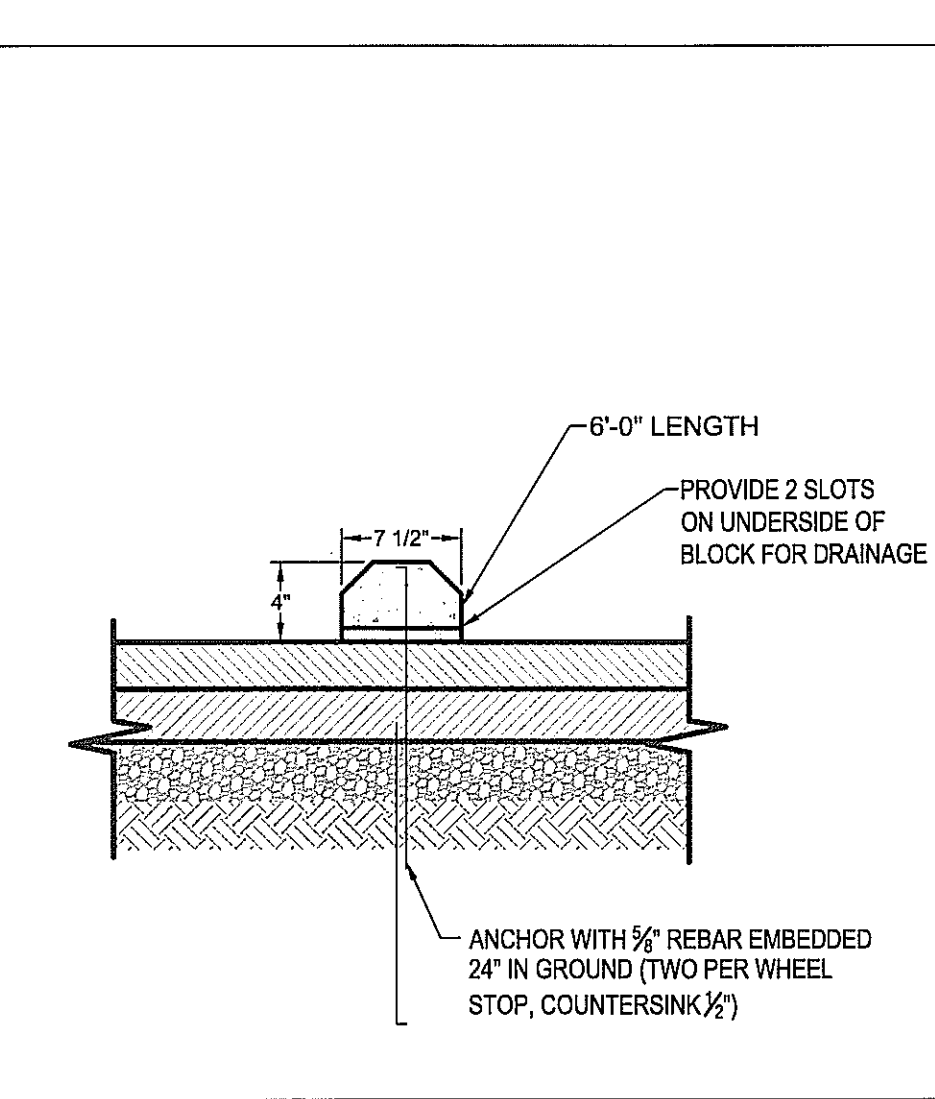
APPROVED CONSTRUCTION PLAN

	NAME	DATE
PLANNING	<i>Jeff Walter</i>	11-30-16
TRAFFIC	<i>W. Anderson</i>	12-1-16
FIRE	<i>C.J. White</i>	12-1-16

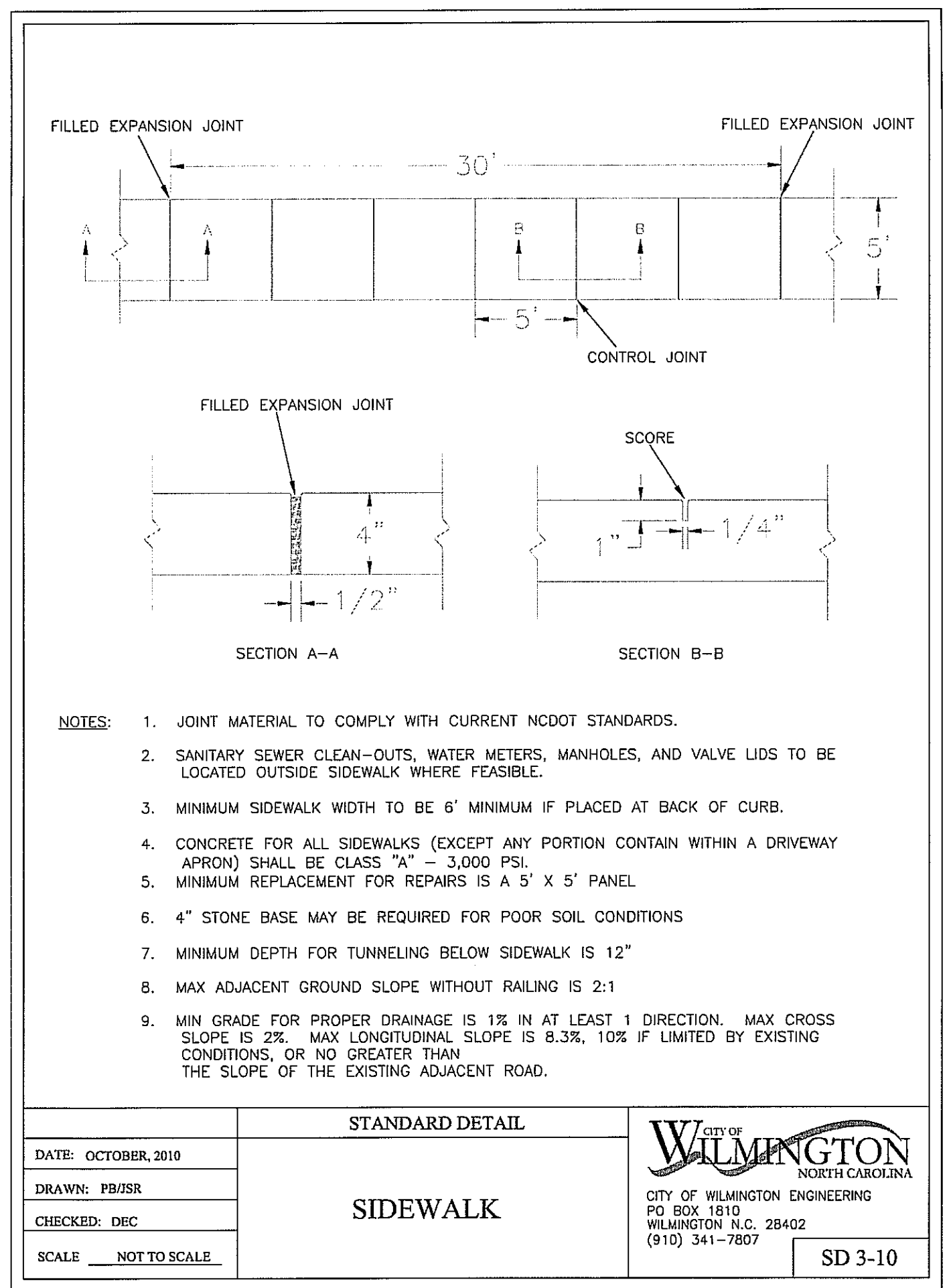
CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 12/1/16
Signed: *[Signature]*



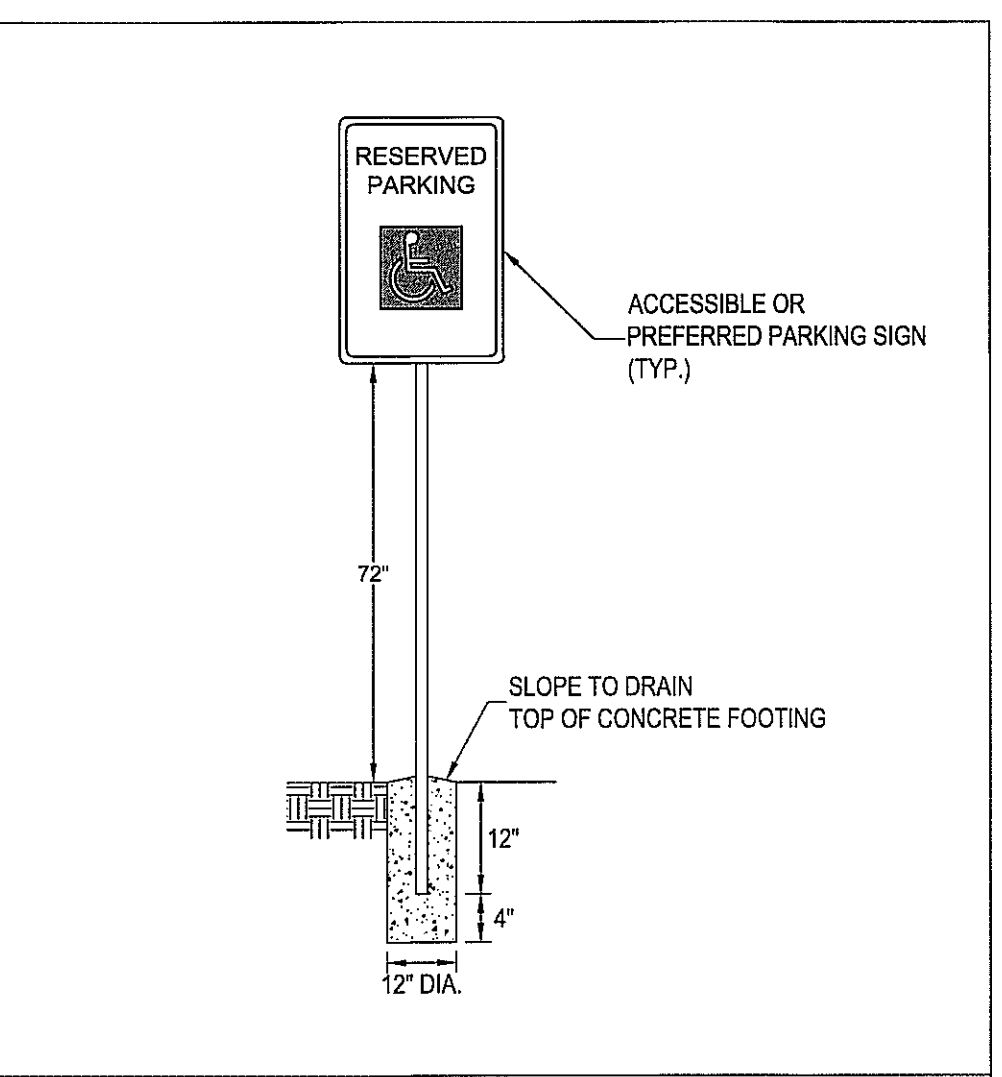
3 CONCRETE PIPE BOLLARD
D-01 SCALE: N.T.S.



4 PRE-CAST CONCRETE WHEEL STOP
D-01 SCALE: N.T.S.

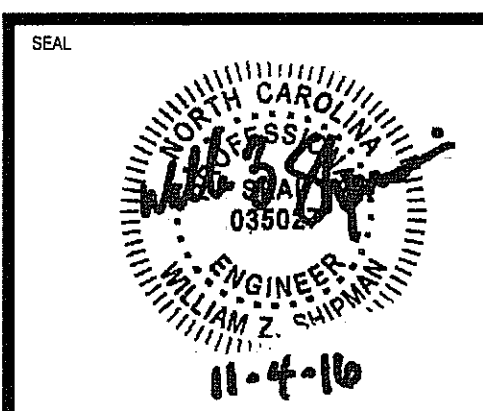


STANDARD DETAIL
SIDEWALK
DATE: OCTOBER, 2010
DRAWING: PB/JSR
CHECKED: DEC
SCALE: NOT TO SCALE
SD 3-10



5 ACCESSIBLE PARKING SIGN FOUNDATION
D-01 SCALE: N.T.S.

NOT FOR CONSTRUCTION



Curry ENGINEERING
11-4-16

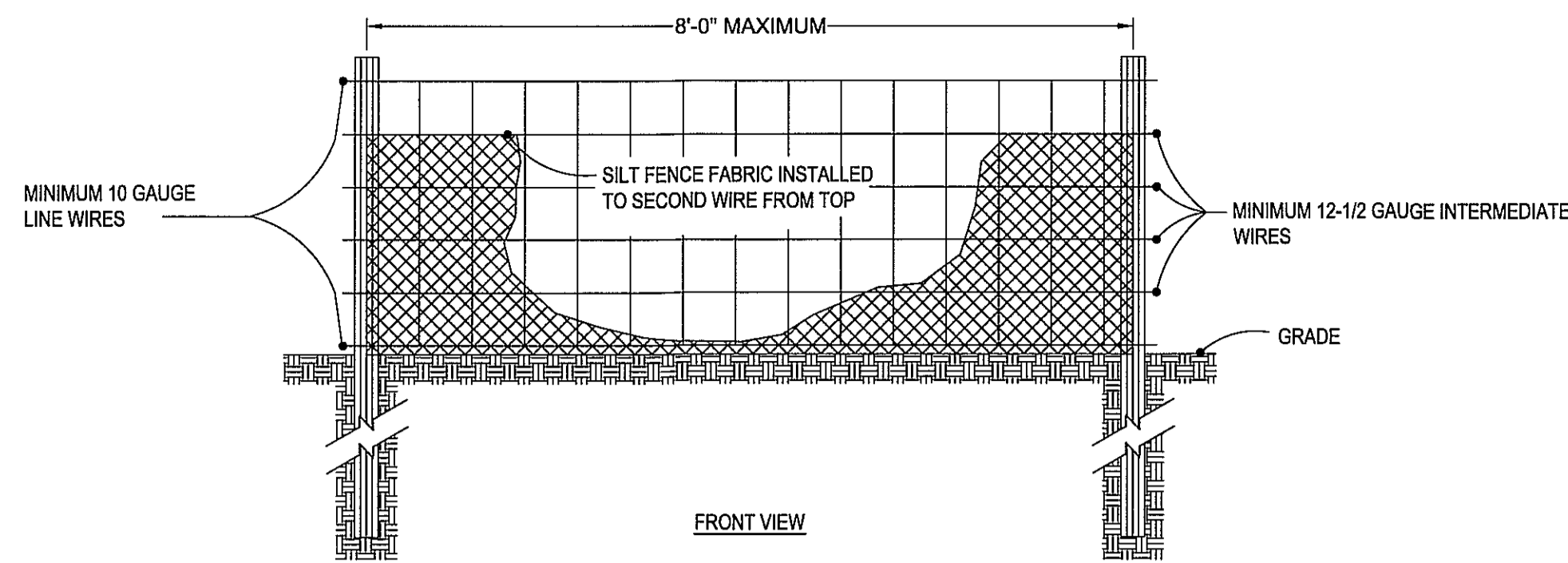
HAWTHORNE AT NEW CENTRE CLUBHOUSE & FITNESS CENTER
137 DAPPLE COURT WILMINGTON, NORTH CAROLINA

NOTES AND DETAILS

REVISIONS

NO.	DATE	DESCRIPTION
1	07-21-16	PER TRC COMMENT
2	10-12-16	PER TRC COMMENT

DATE: 05-17-16
FILE NO. 2015-083
ORIG. SHEET SIZE: 24" x 36"



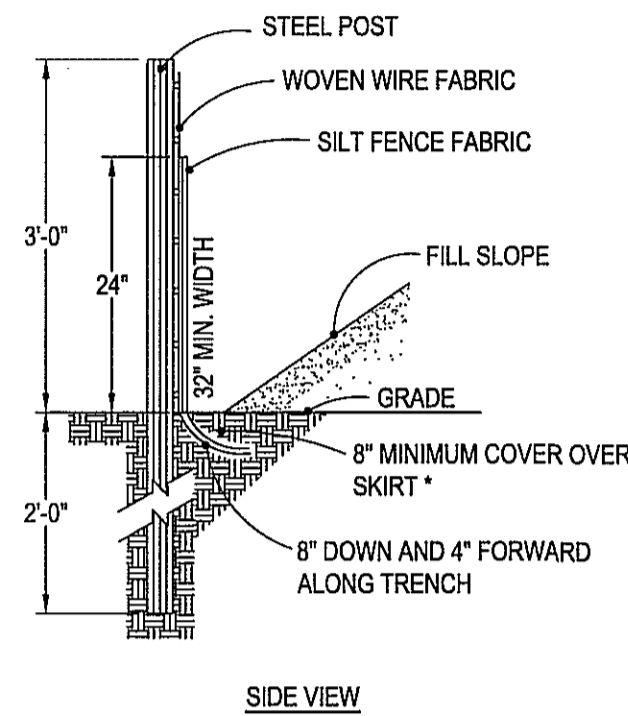
NOTE:
USE SILT FENCE ONLY WHEN DRAINAGE AREA DOES NOT EXCEED 1/4 ACRE AND NEVER IN AREAS OF CONCENTRATED FLOW.

MAINTENANCE
INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.

SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

REMOVE SEDIMENT DEPOSITS WHEN DEPTH OF SEDIMENT REACHES 12" TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.

REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



SILT FENCE CONSTRUCTION SPECIFICATIONS:

MATERIALS:

1. USE A SYNTHETIC FILTER FABRIC OF AT LEAST 95% BY WEIGHT OF POLYOLEFINS OR POLYESTER, WHICH IS CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE REQUIREMENTS IN ASTM D-6461, WHICH IS SHOWN IN PART IN TABLE 6.62b.

SYNTHETIC FILTER FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 6 MONTHS OF EXPECTED USEABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0 TO 120° F.

2. ENSURE THAT POSTS FOR SEDIMENT FENCES ARE 1.25 LBS/LINEAR FEET MINIMUM STEEL WITH A MINIMUM LENGTH OF 5 FEET. MAKE SURE THAT STEEL POSTS HAVE PROJECTIONS TO FACILITATE FASTENING THE FABRIC.

3. FOR REINFORCEMENT OF STANDARD STRENGTH FILTER FABRIC, USE WIRE FENCE WITH A MINIMUM 14 GAUGE AN DA MAXIMUM MESH SPACING OF 6 INCHES.

CONSTRUCTION:

1. CONSTRUCT THE SEDIMENT BARRIER OF STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS.

2. ENSURE THAT THE HEIGHT OF THE SEDIMENT FENCE DOES NOT EXCEED 24 INCHES ABOVE THE GROUND SURFACE. (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE).

3. CONSTRUCT THE FILTER FABRIC FROM A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FILTER CLOTH ONLY AT A SUPPORT POST WITH 4 FEET MINIMUM OVERLAP TO THE NEXT POST.

4. SUPPORT STANDARD STRENGTH FILTER FABRIC BY WIRE MESH FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS. EXTEND THE WIRE MESH SUPPORT TO THE BOTTOM OF THE TRENCH. FASTEN THE WIRE REINFORCEMENT, THEN FABRIC ON THE UPSLOPE SIDE OF THE FENCE POST. WIRE OR PLASTIC ZIP TIES SHOULD HAVE A MINIMUM 50 POUND TENSILE STRENGTH.

5. WHEN A WIRE MESH SUPPORT FENCE IS USED, SPACE POSTS A MAXIMUM OF 8 FEET APART. SUPPORT POSTS SHOULD BE DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24 INCHES.

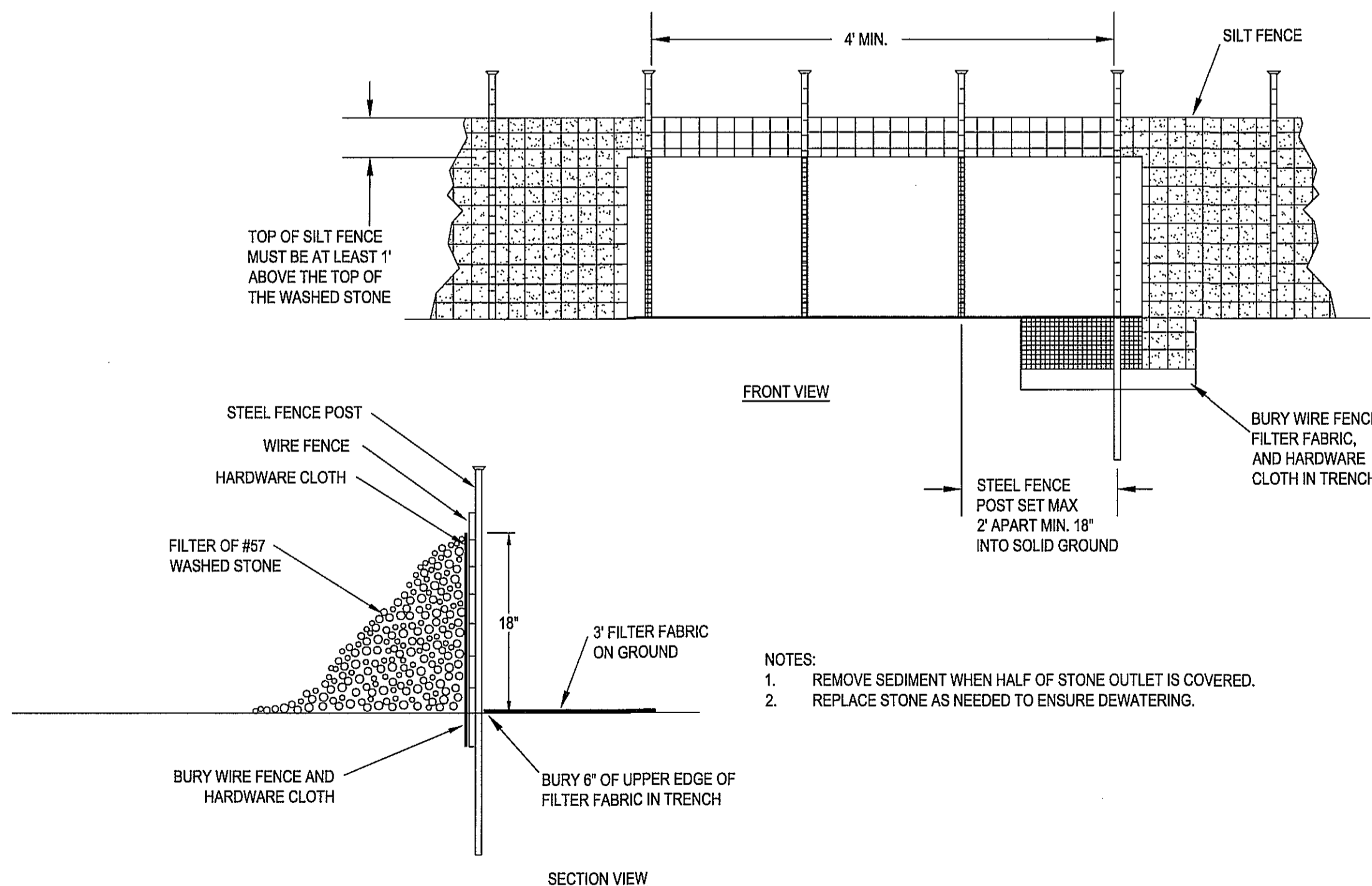
6. EXTRA STRENGTH FILTER FABRIC WITH 6 FEET POST SPACING DOES NOT REQUIRE WIRE MESH SUPPORT FENCE. SECURELY FASTEN THE FILTER FABRIC DIRECTLY TO POSTS. WIRE OR PLASTIC ZIP TIES SHOULD HAVE MINIMUM 50 POUND TENSILE STRENGTH.

Table 6.62b Specifications For Sediment Fence Fabric

Temporary Silt Fence Material Property Requirements					
Test Material	Units	Supported ¹ Silt Fence	Un-Supported ¹ Silt Fence	Type of Value	
Grab Strength	ASTM D 4632	N (lbs)			
Machine Direction		400	550	MARV	
		(90)	(90)		
X-Machine Direction		400	450	MARV	
		(90)	(90)		
Permittivity ²	ASTM D 4491	sec-1	0.05	0.05	MARV
Apparent Opening Size ²	ASTM D 4751	mm	0.60	0.60	Max. ARV ³
		(US Sieve #)	(30)	(30)	
Ultraviolet Stability	ASTM D 4355	% Retained Strength	70% after 500h of exposure	70% after 500h of exposure	Typical

¹ Silt Fence support shall consist of 14 gage steel wire with a mesh spacing of 150 mm (6 inches), or prefabricated polymer mesh of equivalent strength.
² These default values are based on empirical evidence with a variety of sediment. For environmentally sensitive areas, a review of previous experience and/or site or regionally specific geotextile tests in accordance with Test Method D 5141 should be performed by the agency to confirm suitability of these requirements.
³ As measured in accordance with Test Method D 4632.

1
D-02 SILT FENCE DETAIL (NCDENR 6.62)
SCALE: N.T.S.



NOTES:
1. REMOVE SEDIMENT WHEN HALF OF STONE OUTLET IS COVERED.
2. REPLACE STONE AS NEEDED TO ENSURE DEWATERING.

NOTE:
1. INSPECT INLET PROTECTION AND REMOVE SEDIMENT AFTER EACH RAIN EVENT. GRAVEL SHOULD BE REPLACED AND REPAIRS MADE AS NEEDED.

4
D-02 HARDWARE CLOTH AND GRAVEL INLET PROTECTION
SCALE: N.T.S.

(TS) TEMPORARY SEEDING

SEEDING MIXTURE

"COOL SEASON" SEPTEMBER 1 - FEBRUARY 28

SPECIES	RATE (lb/ACRE)
SOFT RED WINTER WHEAT	120

"WARM SEASON" MARCH 1 - AUGUST 31

SPECIES	RATE (lb/ACRE)
GERMAN, BROWN TOP, OR FOX TAIL MILLET	65

SOIL AMENDMENTS

TILL SOIL TO A DEPTH OF 4". APPLY LIME AT A RATE OF 70 LB PER 100 SF, OR 1.5 TONS PER ACRE. APPLY 10-20-20 FERTILIZER AT A RATE OF 20 LBS PER 1000 SF OR 850 LBS PER ACRE. THE FERTILIZER SHOULD BE EITHER SLOW TIME RELEASE OR APPLIED IN TWO APPLICATIONS, HALF AT TIME OF PLANTING AND THE SECOND HALF AFTER PERMANENT SEED GERMINATES.

APPLY 4,000 lb/ACRE STRAW. THE GROUND SHOULD BE COMPLETELY COVERED WITH NO BARE SPOT LARGER THAN A QUARTER, THEN TACKED WITH EMULSIFIED ASPHALT. EMULSIFIED ASPHALT SHALL BE APPLIED AT A RATE HEAVY ENOUGH THAT THE ENTIRE AREA APPEARS BLACK IN COLOR.

REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE, AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

EROSION CONTROL MATTING SHALL BE PROVIDED ON ALL SLOPES 3:1 AND GREATER.

(PS) PERMANENT SEEDING

PERMANENT SODDING:

PROVIDE BERMUDA SOD IN ACCORDANCE WITH LANDSCAPE DRAWINGS REFER TO MAINTENANCE SPECIFICATIONS AND REQUIREMENTS FOR PERMANENT SODDING.

PREPARE SEEDBED BY RIPPING, CHISELING, HARROWING, OR PLOWING TO DEPTH OF SIX INCHES SO AS TO PRODUCE A LOOSE, FRIABLE SURFACE. REMOVE ALL STONES, BOULDERS, STUMPS, OR DEBRIS FROM THE SURFACE WHICH WOULD PROHIBIT GERMINATION OR PLANT GROWTH.

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TEST, OR APPLY 300 LB/ACRE 10-10-10 FERTILIZER.

PERMANENT SEEDINGS:

"COOL SEASON" SEPTEMBER 1 - FEBRUARY 28

SPECIES	RATE (LB/ACRE)
SOFT RED WINTER WHEAT	50
COMMON BERMUDA (HULLED)	25
COMMON BERMUDA (UNHULLED)	25

"WARM SEASON" MARCH 1 - AUGUST 31

SPECIES	RATE (LB/ACRE)
GERMAN, BROWN TOP, OR FOX TAIL MILLET	50
COMMON BERMUDA (HULLED)	50

SOIL AMENDMENTS

TILL SOIL TO A DEPTH OF 4". APPLY LIME AT A RATE OF 70 LB PER 100 SF, OR 1.5 TONS PER ACRE. APPLY 10-20-20 FERTILIZER AT A RATE OF 20 LBS PER 1000 SF OR 850 LBS PER ACRE. THE FERTILIZER SHOULD BE EITHER SLOW TIME RELEASE OR APPLIED IN TWO APPLICATIONS, HALF AT TIME OF PLANTING AND THE SECOND HALF AFTER PERMANENT SEED GERMINATES.

MULCH

APPLY 4,000 LB/ACRE STRAW. THE GROUND SHOULD BE COMPLETELY COVERED WITH NO BARE SPOTS LARGER THAN A QUARTER, THEN TACKED WITH EMULSIFIED ASPHALT. EMULSIFIED ASPHALT SHALL BE APPLIED AT A RATE HEAVY ENOUGH THAT THE ENTIRE AREA APPEARS BLACK IN COLOR.

MAINTENANCE

REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE, AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

APPROVED CONSTRUCTION PLAN

	NAME	DATE
PLANNING	Jeff Walters	11-30-16
TRAFFIC	W. Gordon	12-1-16
FIRE	C. J. Wat	12/1/16

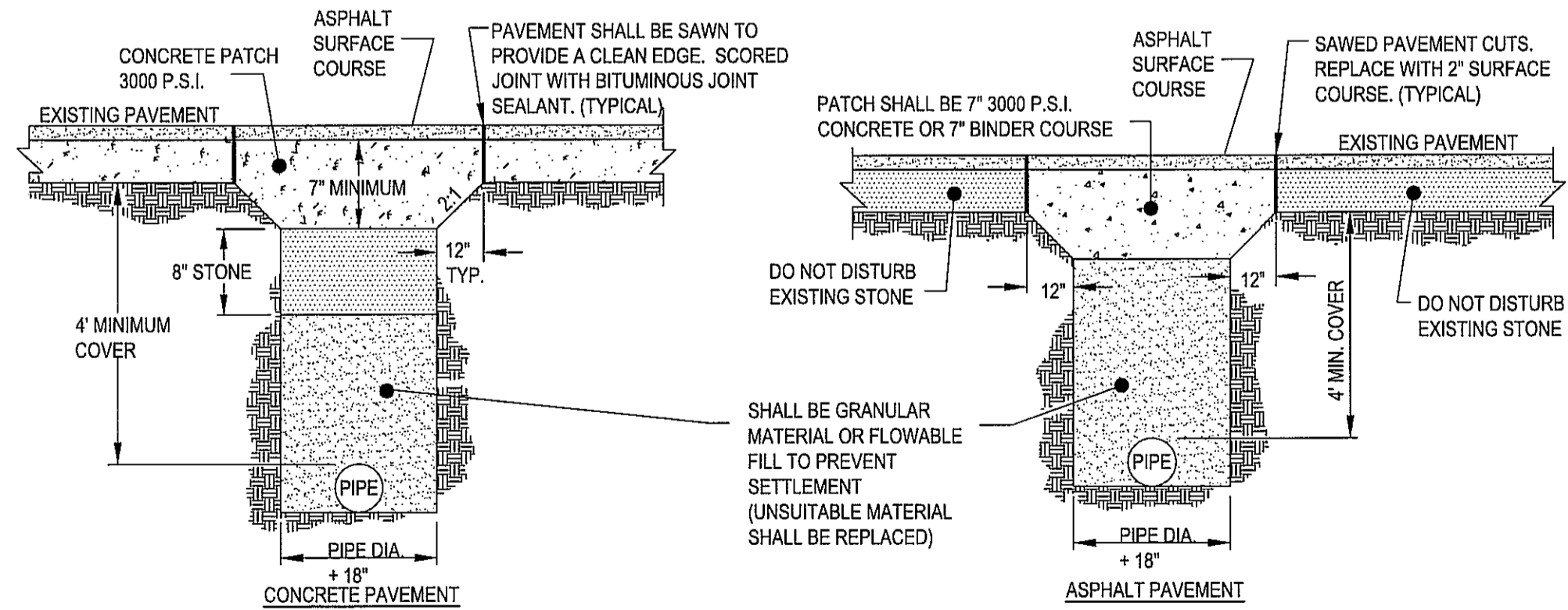
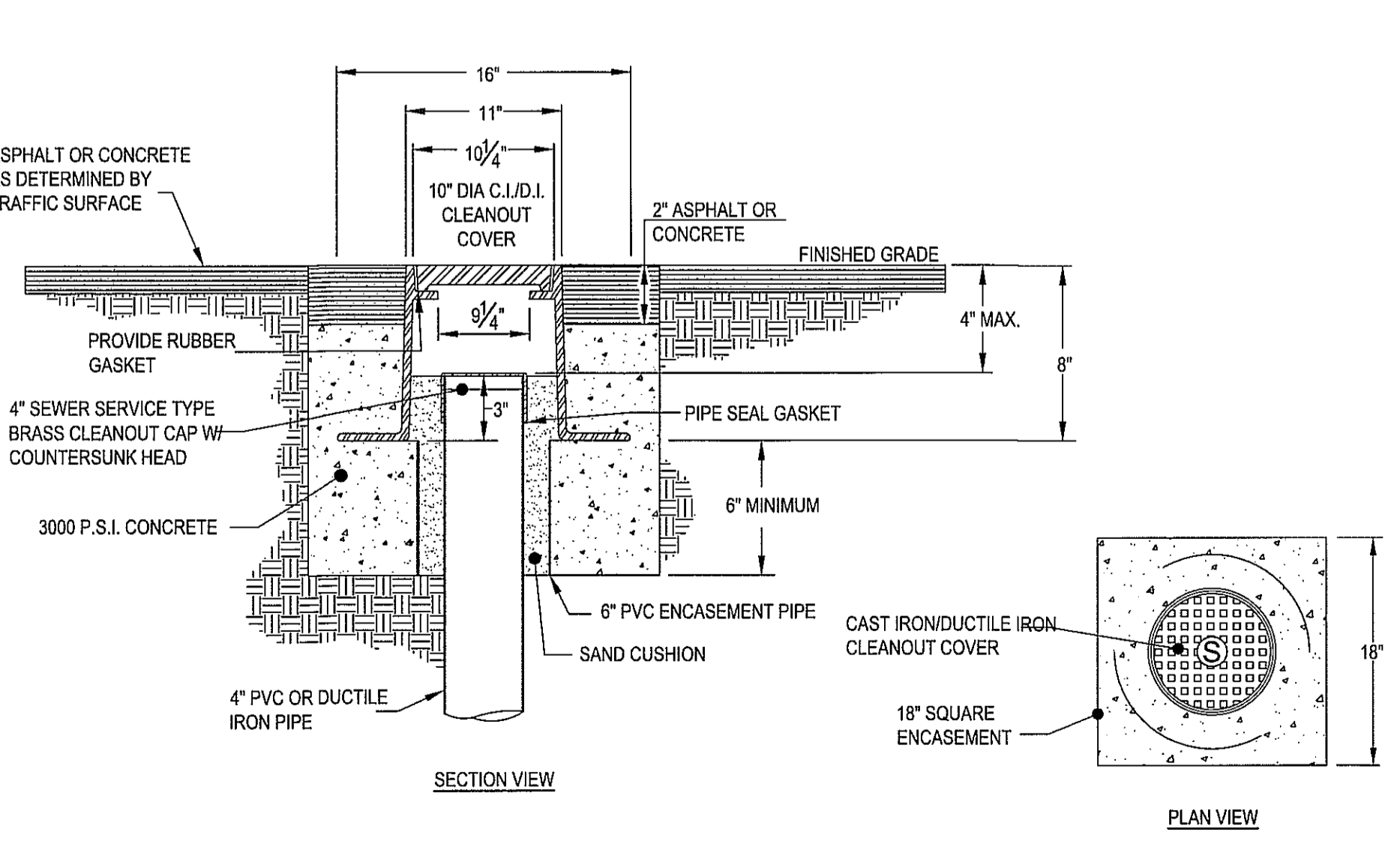
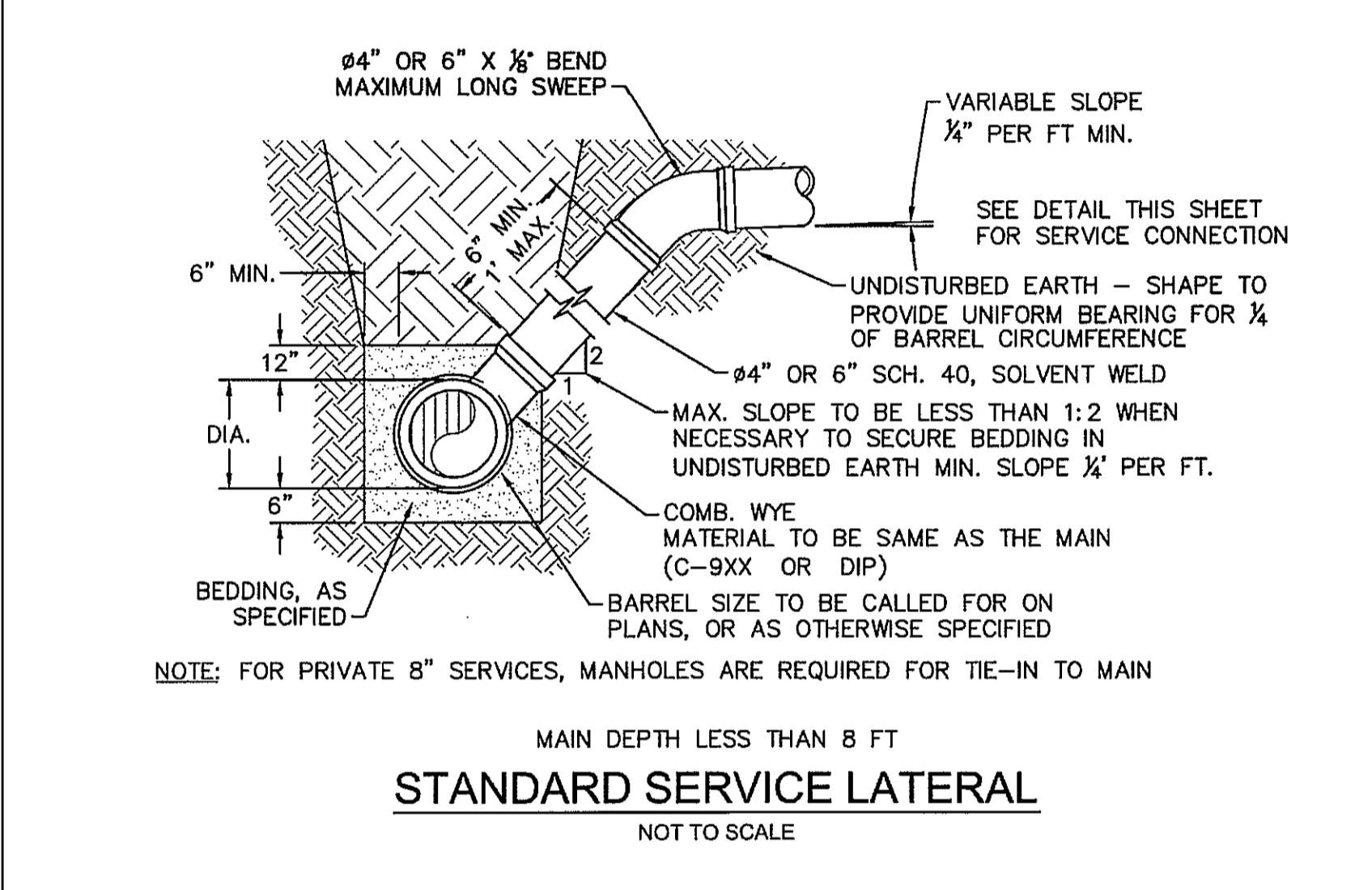
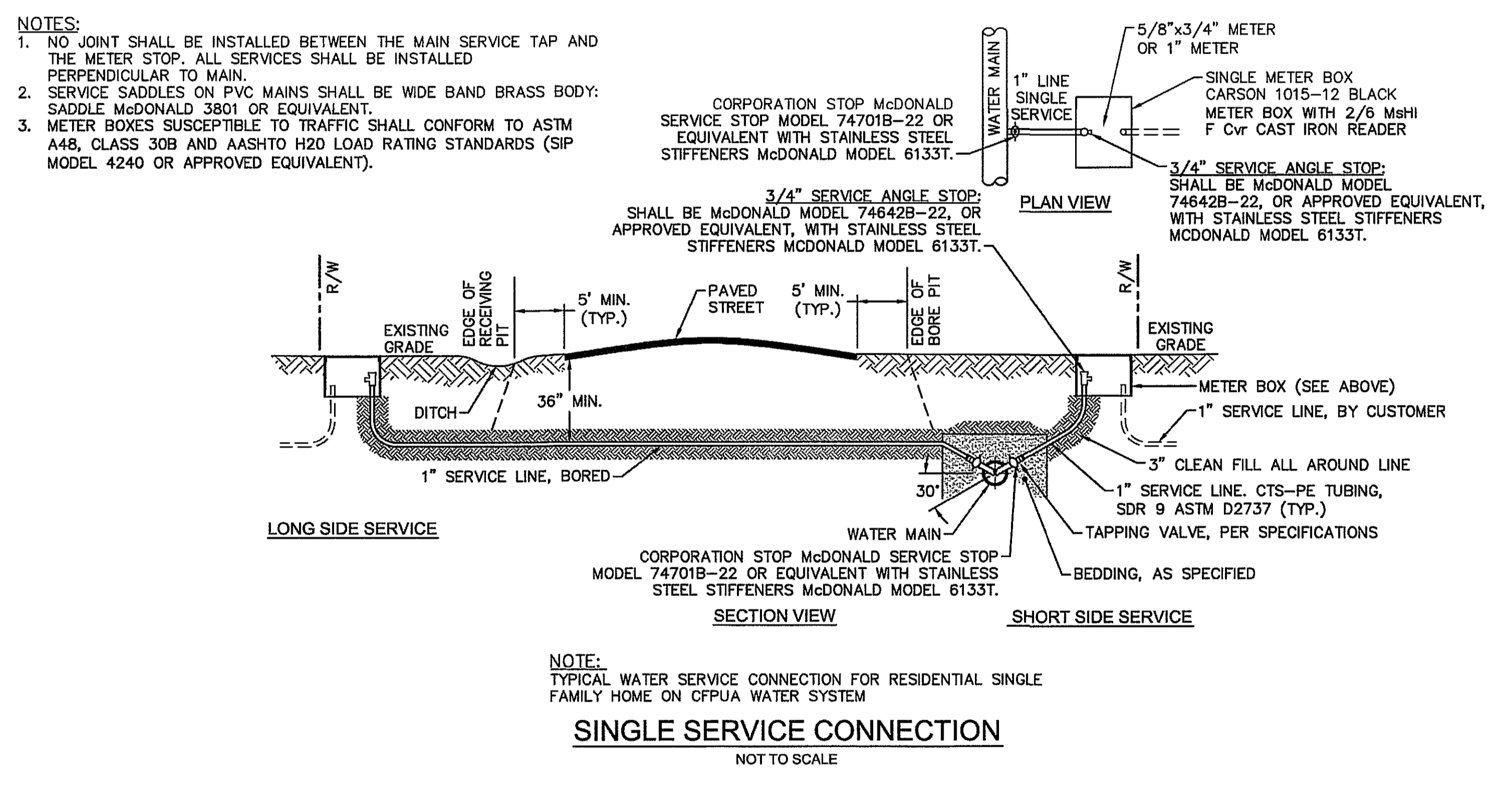
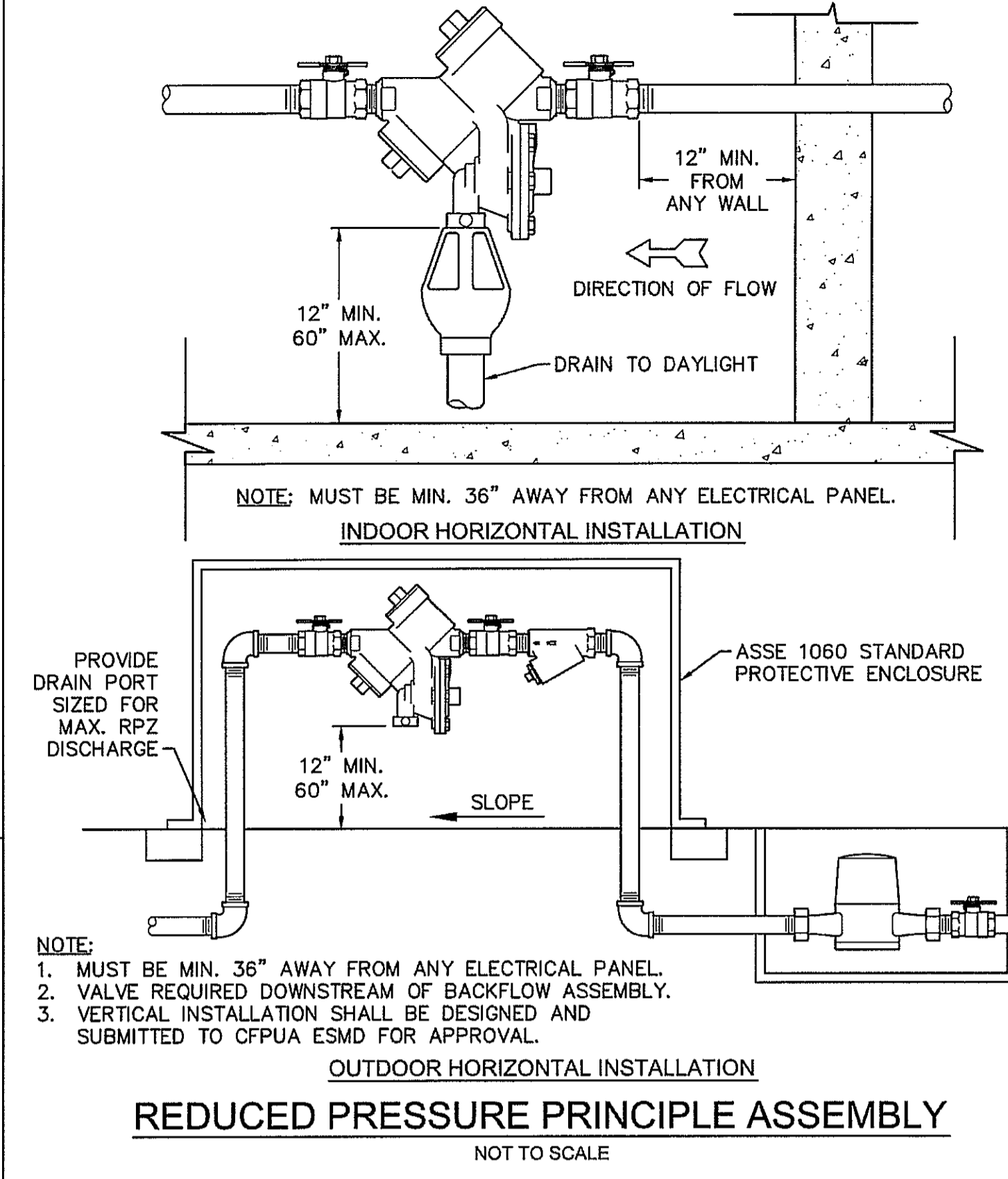
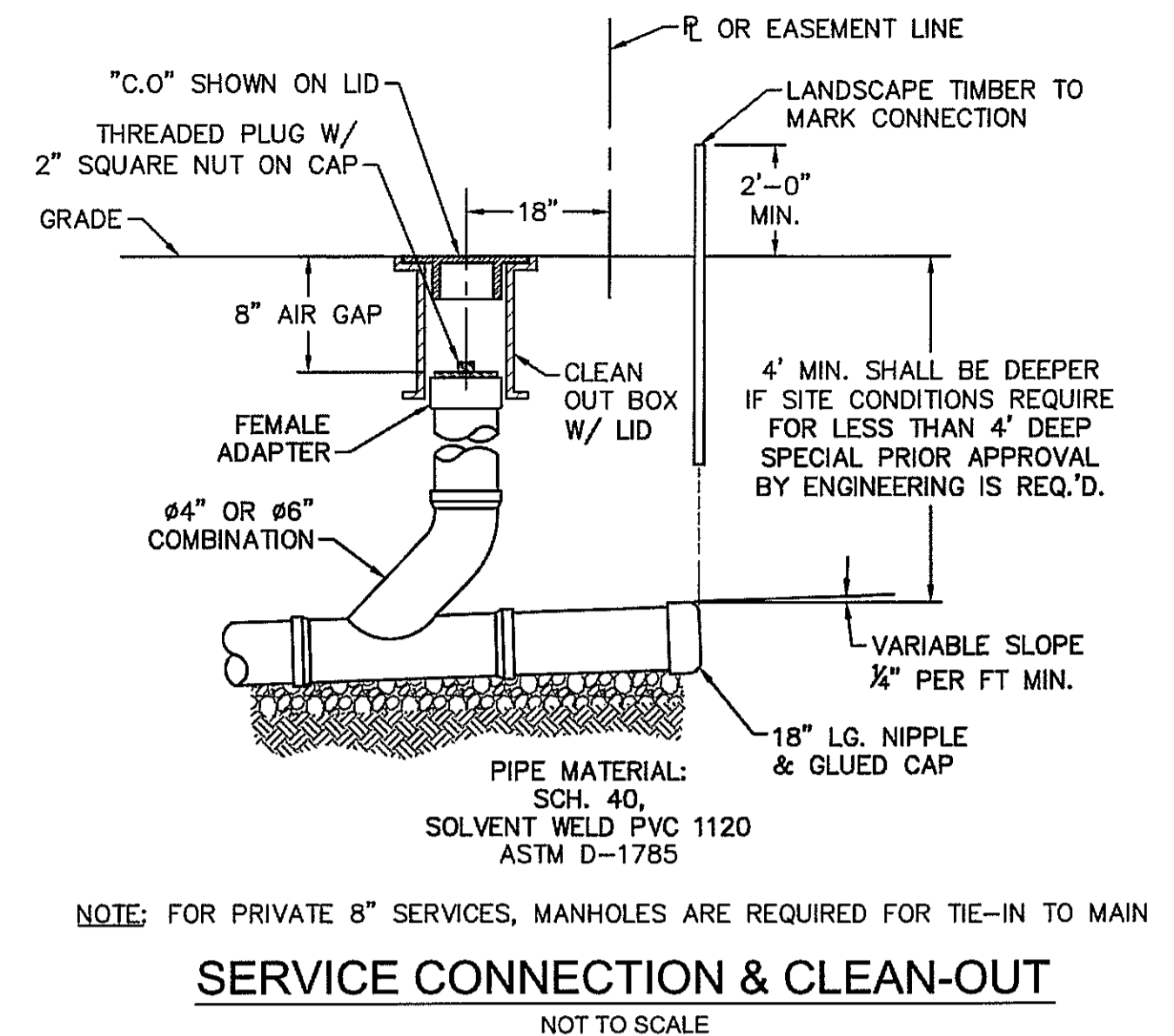
City of WILMINGTON
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: 12/1/16 Permit #: 2016044
Signed: [Signature]

Seal of the State Engineer, North Carolina, with signature and date 11-4-16.

HAWTHORNE AT NEW CENTRE CLUBHOUSE & FITNESS CENTER
137 DAPPLE COURT WILMINGTON, NORTH CAROLINA
NOTES AND DETAILS

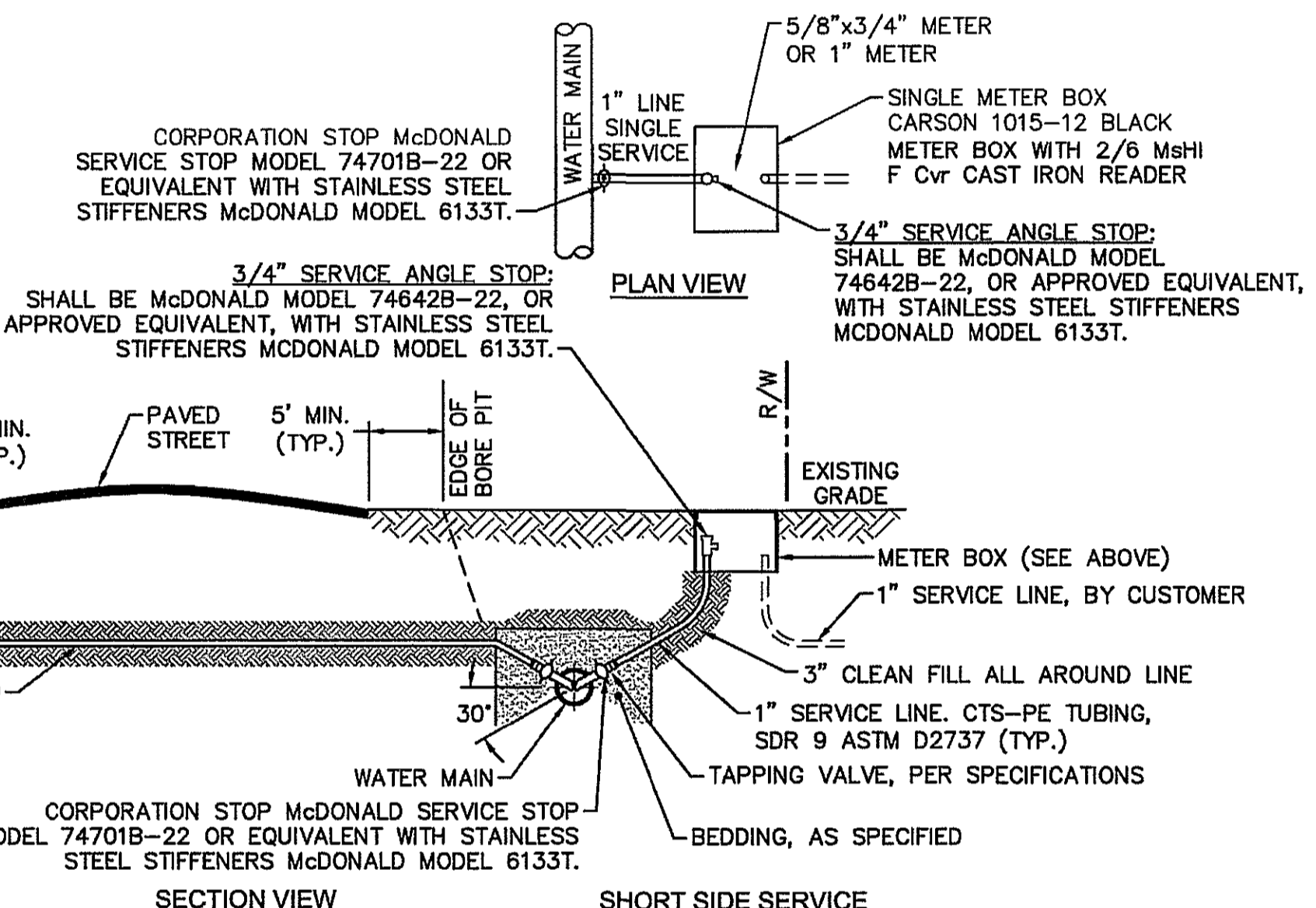
Curry ENGINEERING
200 S. Energy Avenue
Fayetteville, NC 27268
T (910) 552-0449
F (910) 552-2043

Curry ENGINEERING
D-02



NOTES:

1. NO JOINT SHALL BE INSTALLED BETWEEN THE MAIN SERVICE TAP AND THE METER STOP. ALL SERVICES SHALL BE INSTALLED PERPENDICULAR TO MAIN.
2. SERVICE SADDLES ON PVC MAINS SHALL BE WIDE BAND BRASS BODY: SADDLE McDONALD 3801 OR EQUIVALENT.
3. METER BOXES SUSCEPTIBLE TO TRAFFIC SHALL CONFORM TO ASTM A48, CLASS 30B AND AASHTO H20 LOAD RATING STANDARDS (SIP MODEL 4240 OR APPROVED EQUIVALENT).



NOTE: FOR PRIVATE 8" SERVICES, MANHOLES ARE REQUIRED FOR TIE-IN TO MAIN

- NOTE:
1. MUST BE MIN. 36" AWAY FROM ANY ELECTRICAL PANEL.
 2. VALVE REQUIRED DOWNSTREAM OF BACKFLOW ASSEMBLY.
 3. VERTICAL INSTALLATION SHALL BE DESIGNED AND SUBMITTED TO CPWA ESDM FOR APPROVAL.

APPROVED CONSTRUCTION PLAN

NAME: *Jeff White* DATE: *11-30-16*

PLANNING: *Jeff White*

TRAFFIC: *W. S. Adams*

FIRE: _____

CITY OF WILMINGTON
NORTH CAROLINA

Public Services • Engineering Division

APPROVED DRAINAGE PLAN

Date: *12/1/16* Permit #: *2016044*

Signed: *[Signature]*

Curry ENGINEERING

11-4-16

HAWTHORNE AT NEW CENTRE CLUBHOUSE & FITNESS CENTER
137 DAPPLE COURT WILMINGTON, NORTH CAROLINA

NOTES AND DETAILS

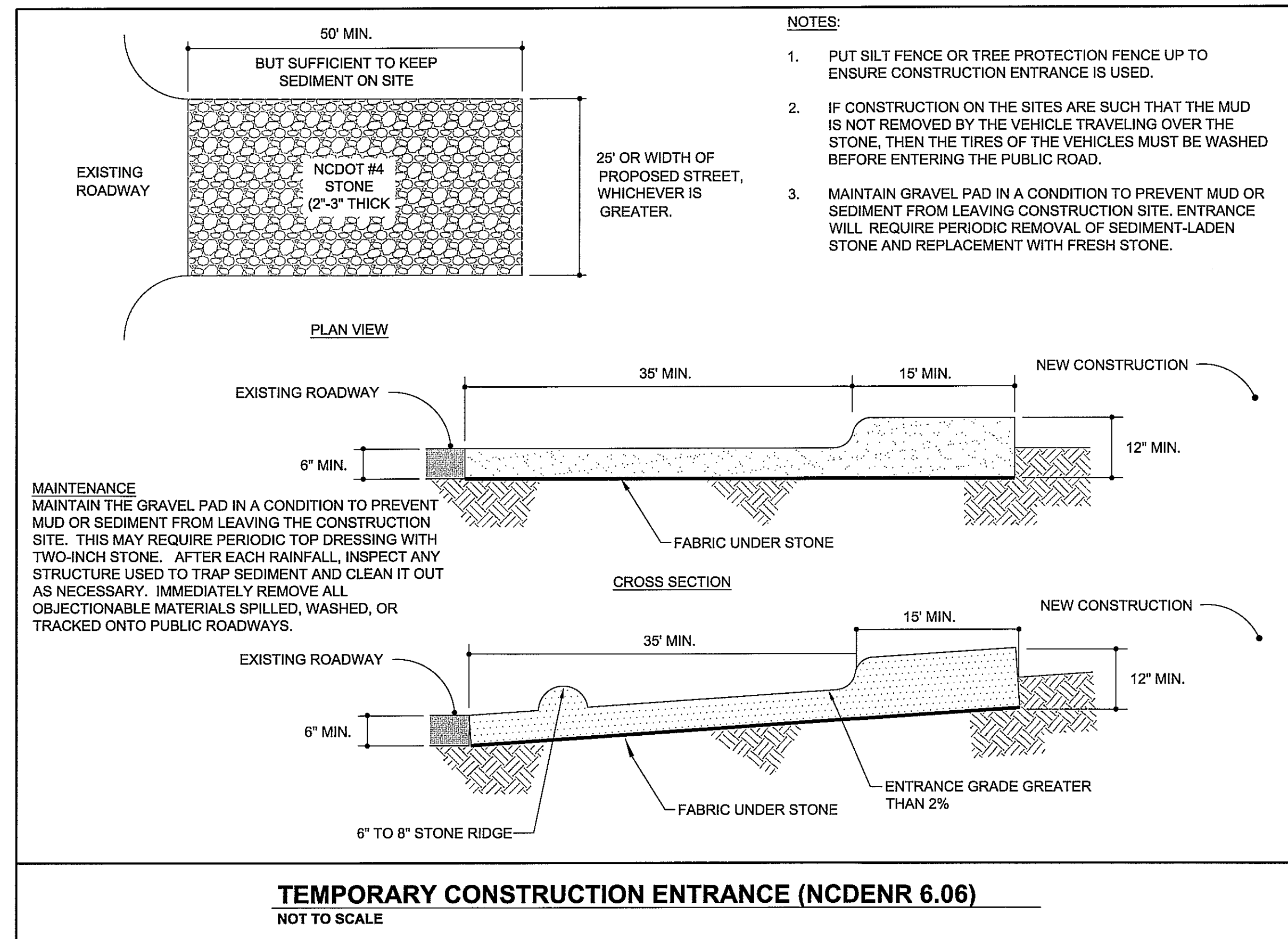
Curry ENGINEERING

D-03

2016/11/03 10:58 AM NEW CENTRE CLUBHOUSE & FITNESS CENTER PLANSHEET P-0303 NOTES AND DETAILS.DWG
 PLOTTED: 11/03/16 1:57 PM

NO.	DATE	DESCRIPTION
1	07-21-16	PER TRC COMMENT
2	10-12-16	PER TRC COMMENT

FILE NO. 2015-083
 HORIZ. SCALE: SCALE
 ORIG. SHEET SIZE: 24 x 36

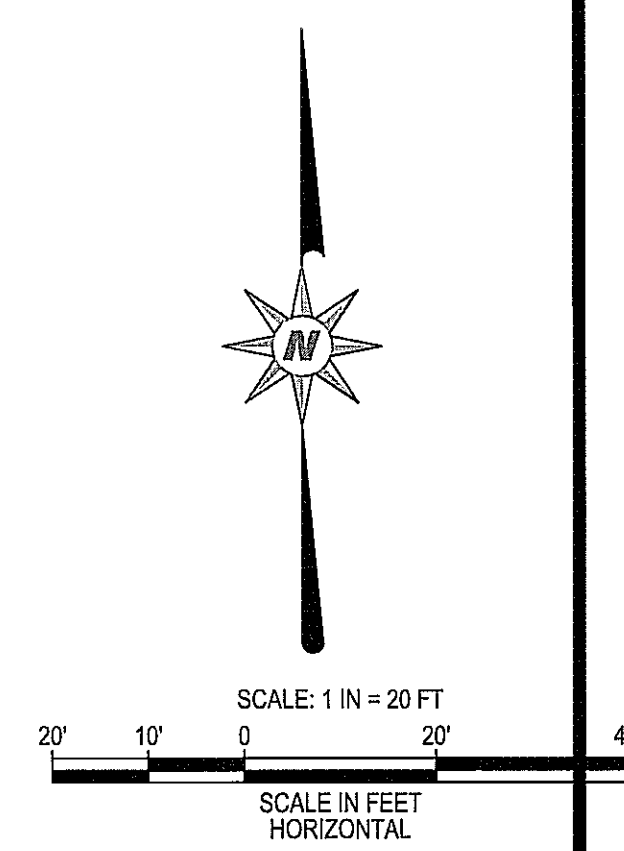


- NOTES:**
1. PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
 2. IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.
 3. MAINTAIN GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING CONSTRUCTION SITE. ENTRANCE WILL REQUIRE PERIODIC REMOVAL OF SEDIMENT-LADEN STONE AND REPLACEMENT WITH FRESH STONE.

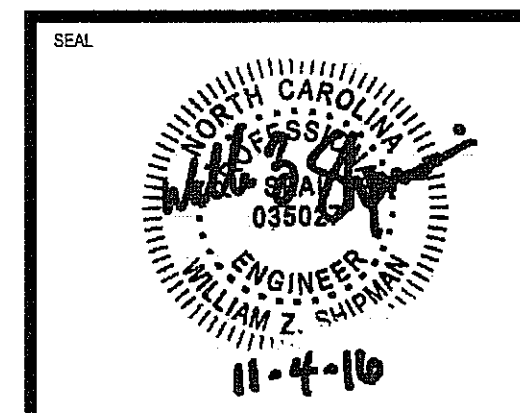
MAINTENANCE
 MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH TWO-INCH STONE. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.

TEMPORARY CONSTRUCTION ENTRANCE (NCDENR 6.06)
 NOT TO SCALE

APPROVED CONSTRUCTION PLAN		
	NAME	DATE
PLANNING	<i>J. W. [Signature]</i>	11-30-16
TRAFFIC	<i>[Signature]</i>	12-1-16
FIRE	<i>C. J. [Signature]</i>	12/1/16



CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN
 Date: 12/1/16 Permit #: 2016044
 Signed: *[Signature]*



HAWTHORNE AT NEW CENTRE CLUBHOUSE & FITNESS CENTER
137 DAPPLE COURT WILMINGTON, NORTH CAROLINA
NOTES AND DETAILS

201 S. Cherry Avenue
 Fayetteville, NC 27405
 T (919) 552-0849
 F (919) 552-3043

SEAL

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 ENGINEERING

D-04

NO.	DATE	DESCRIPTION
1	07-21-16	PER TRC COMMENT
2	10-12-16	PER TRC COMMENT

FILE NO. 2015-083
 HORIZ. SCALE: SCALE
 ORIG. SHEET SIZE: 24 x 36

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 PLOTTED: 11/16/2016 1:59 PM

IMPORTANT NOTE: ALL CONSTRUCTION SHALL COMPLY WITH CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.

STREET YARD CALCULATION
 DISTRICT ZONING: MF-M
 MULTIPLIER: 12 (PER 18-477)
 PROJECT FRONTAGE: 132 LF (MINUS DRIVEWAY)
 REQUIRED STREET YARD = $12 \times 132 \text{ LF} = 1584 \text{ SF}$
 USE 13' AVERAGE WIDTH STREET YARD ACROSS FRONTAGE (9' MIN. AT SHALLOWEST)
 REQUIRED # OF CANOPY TREES: $1584 \text{ SF} / 600 \text{ SF} = 2.64$ — USE 3 CANOPY TREES
 REQUIRED # OF SHRUBS: $1584 \text{ SF} / 600 \text{ SF} = 2.64$
 2.64 x 6 SHRUBS = 16 SHRUBS REQUIRED

PARKING AREA SHADING CALCULATION:
 PARKING AREA: 5,183 SF
 REQUIRED SHADED AREA: 1,036 SF (20% TOTAL)
 PROVIDED SHADED AREA: 1,592 SF OR 30.72%
 (USING 10' RADIUS FOR UNDERSTORY TREES, 15' RADIUS FOR CANOPY TREES, AND ACTUAL RADIUS FOR EXISTING)

FOUNDATION PLANTING CALCULATION:
 BUILDING FACE AREA: 826.67 SF
 REQUIRED FOUNDATION PLANTINGS AREA: 99 SF (12%)
 PROVIDED FOUNDATION PLANTINGS AREA: 226 (27.34%)

PLANT SCHEDULE

TYPE	QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
TREES						
DUT	4	LI	LAGERSTROEMIA INDICA x 'MUSKOGEE'	MUSKOGEE CRAPE MYRTLE	8'-10' HEIGHT, MULTI-STEM	B&B
ST	9	QA	QUERCUS ALBA	WHITE OAK	2.5" CAL., 10' HEIGHT (MIN)	B&B-SINGLE STEM ONLY
SHRUBS						
ES	8	CSC	CAMELLIA SASANQUA 'CHANSONETTE'	CHANSONETTE CAMELLIA	7 GALLON, 24" HT.	CONTAINER
ES	6	EAA	AZALEA x 'CONLEE' PP#10567	AUTUMN AMETHYST ENCORE AZALEA	18" HEIGHT MIN.	CONTAINER
DS	6	HAA	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	24" HEIGHT MIN.	CONTAINER
ES	9	NO	NERIUM OLEANDER	OLEANDER	24" HEIGHT MIN.	CONTAINER
ES	33	PT	PITTIOSPORUM TOBIRA	JAPANESE PITTIOSPORUM	24" HEIGHT MIN.	CONTAINER
ES	10	RX	ROSA x 'KNOCKOUT'	KNOCKOUT ROSE	24" HEIGHT MIN.	CONTAINER

TYPE/USE LEGEND
 PLANT TYPE: ST= SHADE TREE; DUT= DECIDUOUS UNDERSTORY TREE; EUT= EVERGREEN UNDERSTORY TREE; ES= EVERGREEN SHRUB;

IMPORTANT NOTE: PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

GENERAL NOTES:

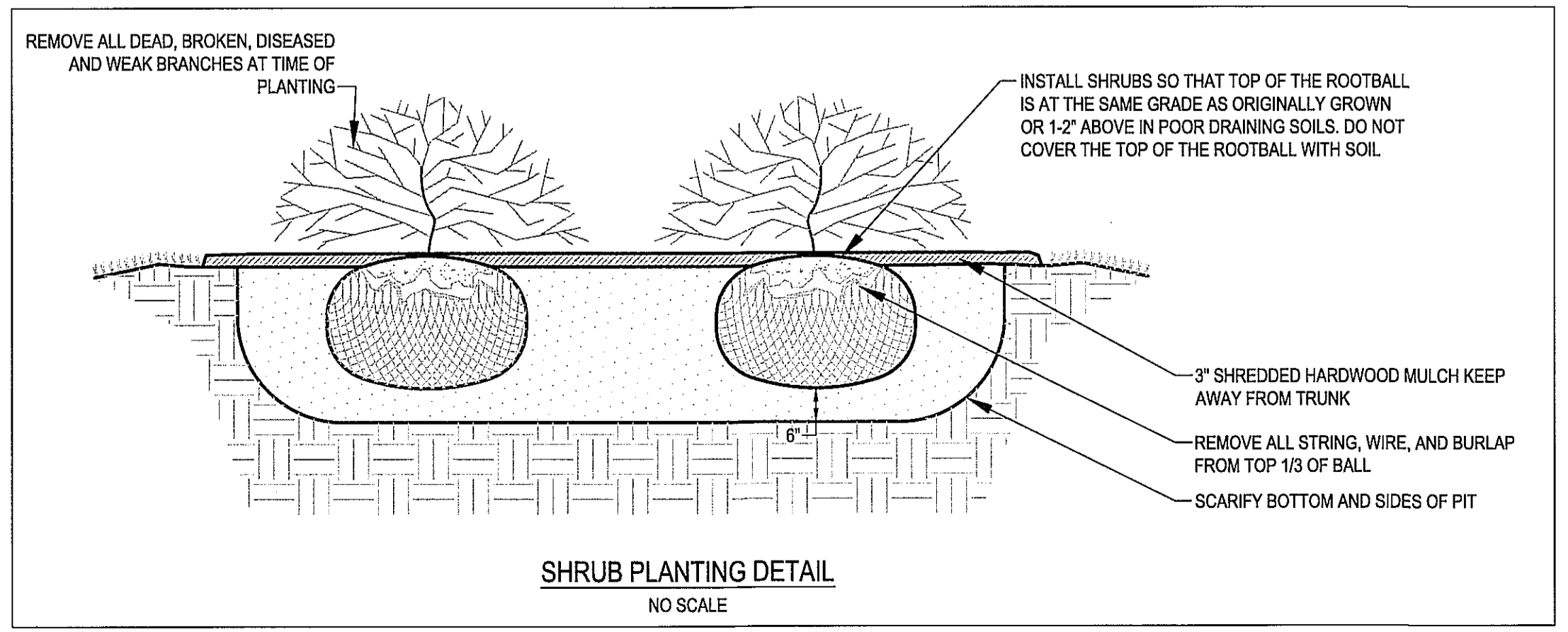
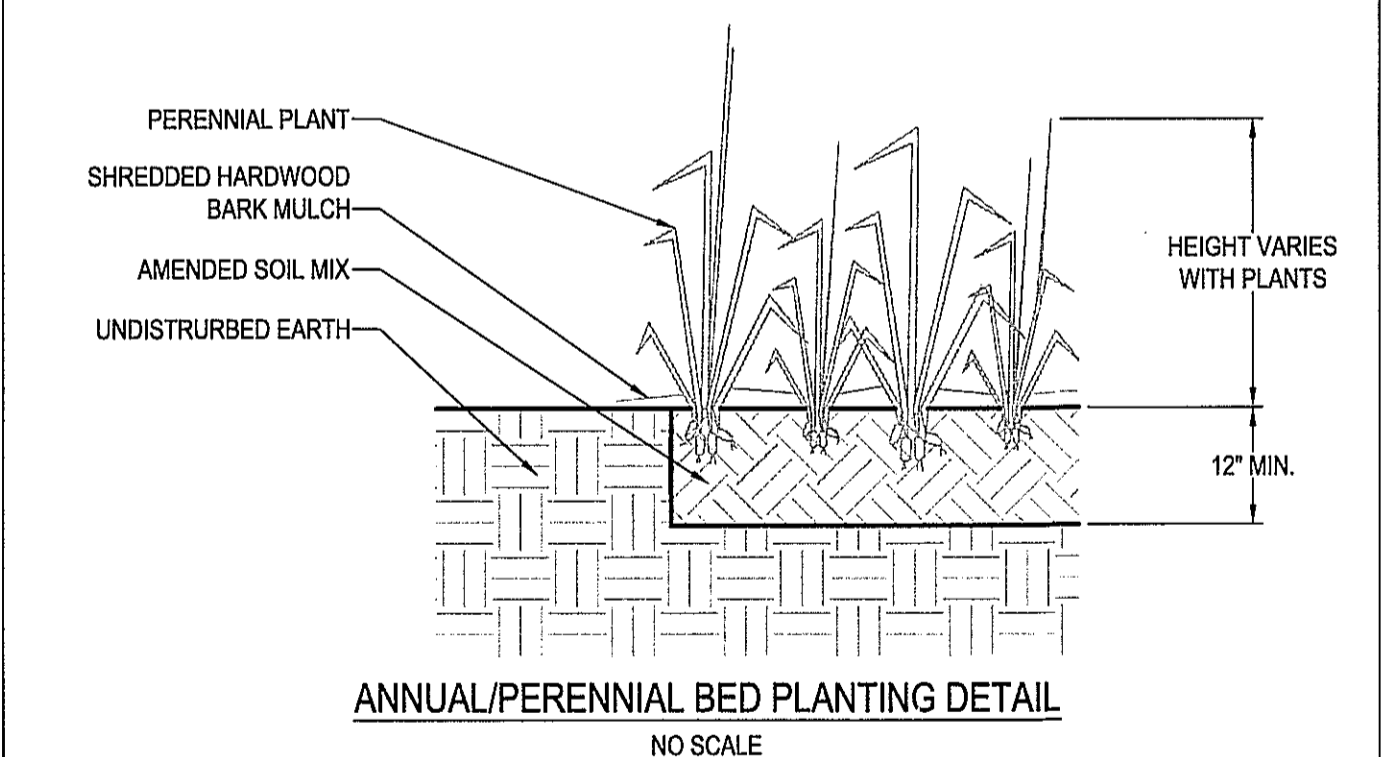
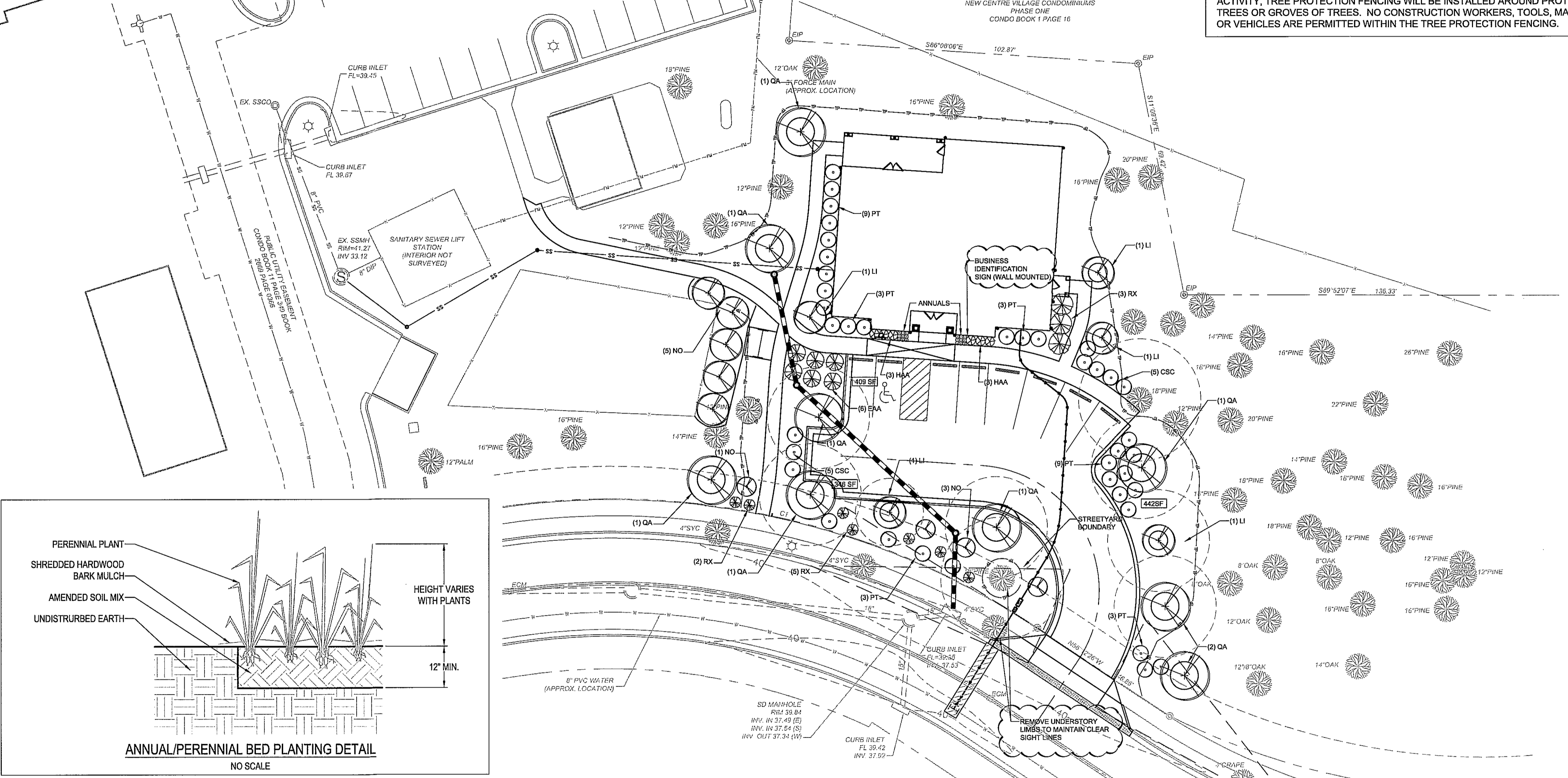
- EXISTING CONDITIONS AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY OF THE PROPERTY BY MIKE UNDERWOOD AND ASSOCIATES, DATED FEBRUARY 14, 2016, AND IS NOT THE RESULT OF A FIELD SURVEY BY THE QUERY ENGINEERING GROUP, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, NEW HANOVER COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
- PRIOR TO THE COMMENCEMENT OF ANY ACTIVITIES REQUIRING A BUILDING OR ZONING PERMIT AN ON-SITE PRECONSTRUCTION MEETING IS REQUIRED BETWEEN THE DEVELOPER AND CITY OF WILMINGTON INSPECTION STAFF TO REVIEW PROCEEDURES FOR THE PROTECTION AND MANAGEMENT OF ALL LANDSCAPE ELEMENTS THAT ARE TO REMAIN AS IDENTIFIED ON THE LANDSCAPING PLANS.
- CONTACT THE NO ONE CALL CENTER (811) FOR LOCATIONS OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM WATER AND SEWER CONNECTIONS. NOTIFY THE ENGINEER IF ANY CONFLICTS OR DISCREPANCIES ARE NOTED.
- VERIFY ALL PLANT MATERIAL QUANTITIES ON THE PLAN PRIOR TO BIDDING; PLANT LIST TOTALS ARE SHOWN FOR CONVENIENCE ONLY AND SHALL BE CONFIRMED PRIOR TO SUBMITTING BIDS.
- PROVIDE PLANT MATERIALS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY INDICATED ON THE PLANS, UNLESS EXPRESS WRITTEN PERMISSION IS ISSUED FROM THE OWNER OR THE ENGINEER INDICATING OTHERWISE. FINAL PLANT SELECTION MAY BE SUBJECT TO SEASONAL AVAILABILITY AND MAY BE ALTERED OR MODIFIED BY THE OWNER AS DESIRED.
- ALL PLANT MATERIALS AND INSTALLATION SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK," IF SPECIFIED PLANT MATERIAL IS NOT AVAILABLE, SUBMIT PROOF OF NON-AVAILABILITY TO THE ENGINEER, TOGETHER WITH PROPOSAL FOR THE USE OF EQUIVALENT MATERIAL, VARIETIES, OR CULTIVARS.
- PROVIDE AND INSTALL ALL PLANTS AS IN ACCORDANCE WITH DETAILS AND CONTRACT SPECIFICATIONS.

CONSTRUCTION/INSTALLATION:

- THE OWNER AND/OR ENGINEER RESERVES THE RIGHT TO REJECT ANY PLANTS AND MATERIALS THAT ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION, AS WELL AS PLANTS AND MATERIALS THAT DO NOT CONFORM TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK."
- LABEL AT LEAST ONE TREE AND SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING THE DESIGNATION OF BOTANICAL AND COMMON NAME.
- INSTALL LANDSCAPE PLANTINGS AT ENTRANCES/EXITS AND PARKING AREAS ACCORDING TO PLANS SO THAT MATERIALS WILL NOT INTERFERE WITH SIGHT DISTANCES.
- CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY THE OWNER OF CONDITIONS WHICH AFFECTS THE GUARANTEE.

INSPECTIONS/GUARANTEE:

- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY THE COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A FINAL INSPECTION BY THE ENGINEER.
- ALL EXTERIOR PLANT MATERIALS SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER DATE OF FINAL INSPECTION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTRACTORS CONTROL ARE NOT THE RESPONSIBILITY OF THE CONTRACTOR.
- PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT OF THE PLANNING DEPARTMENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
- REMOVE ALL GUY WIRES AND STAKES 12 MONTHS AFTER INSTALLATION.



ALL PROPOSED VEGETATION WITHIN THE SIGHT DISTANCE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30" TO 10' ABOVE THE GROUND.

APPROVED CONSTRUCTION PLAN

NAME	DATE
PLANNING <i>Jeff Wecker</i>	11-20-16
TRAFFIC <i>W. Gordon</i>	12-1-16
FIRE <i>O. J. White</i>	12/1/16

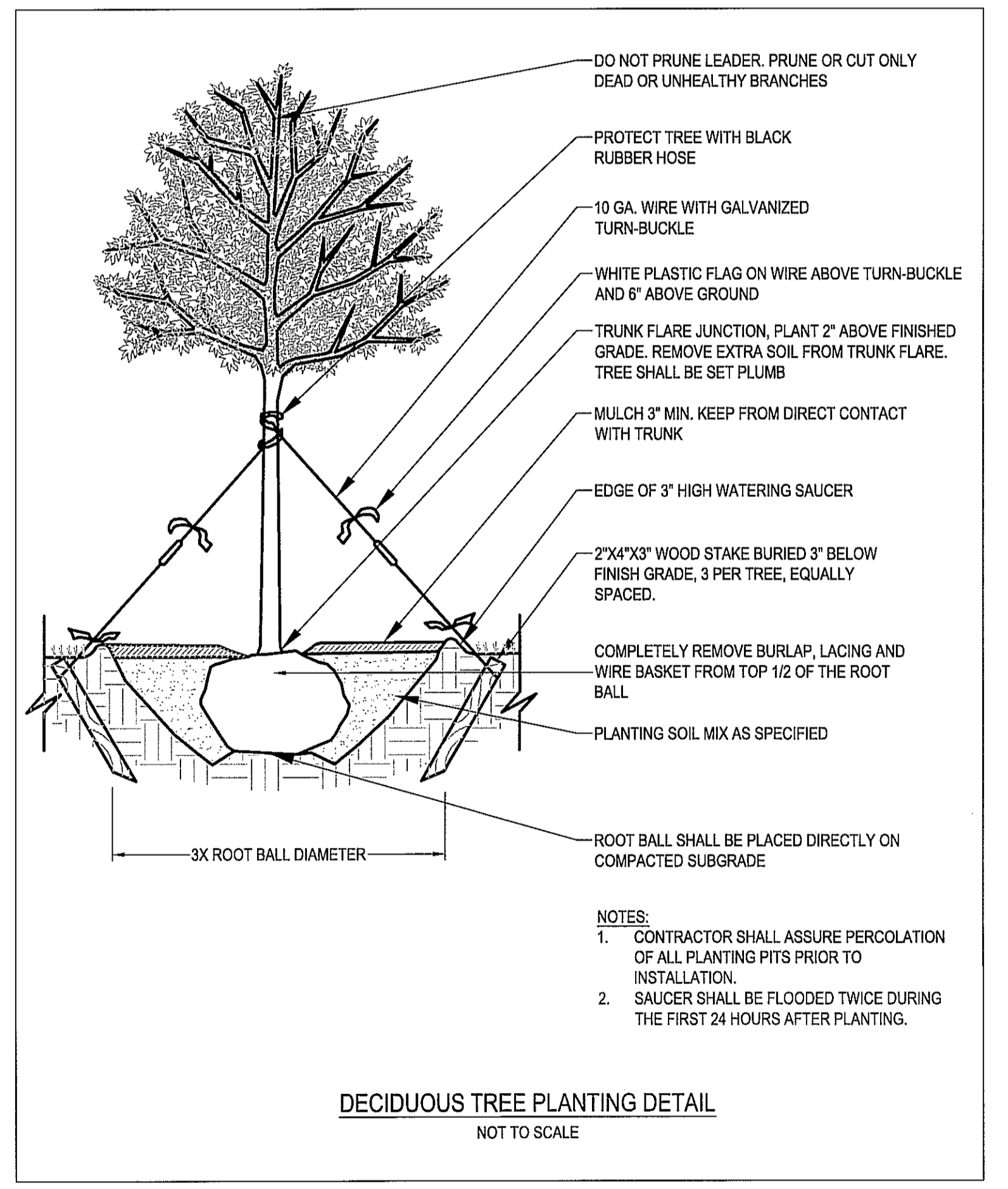
WILMINGTON
 NORTH CAROLINA

Public Services • Engineering Division

APPROVED DRAINAGE PLAN

Date: 12/1/16 Perms # 2016044

Signed: *[Signature]*



SCALE: 1" = 20' FT

SCALE IN FEET HORIZONTAL

811
Know what's Below.
Call before you dig.

SEAL

MICHAEL GARLAND
 PROFESSIONAL ENGINEER
 STATE OF NORTH CAROLINA
 LICENSE NO. 035027

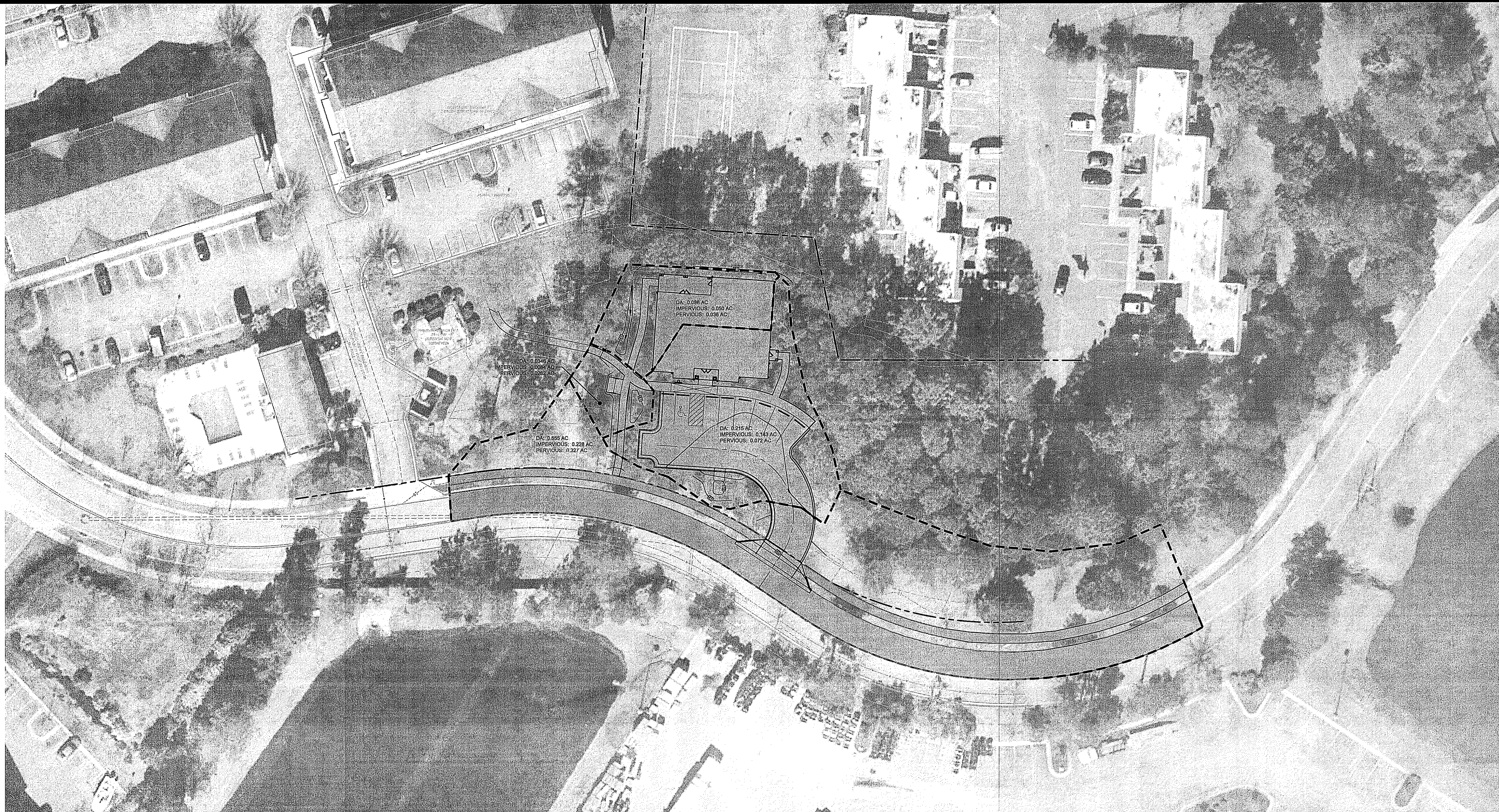
11-23-16

HAWTHORNE AT NEW CENTRE CLUBHOUSE & FITNESS CENTER
 137 DAPPLE COURT WILMINGTON, NORTH CAROLINA
LANDSCAPE PLAN

ENGINEERS & ARCHITECTS
Curry
 ENGINEERING
 L-01

2016 P. 035027
 11/19/16 12:24:00
 F:\016\2016\035027

REVISIONS
 3 11-



PIPE NETWORK DRAINAGE AREA MAP
SCALE: 1"=30'

HAWTHORNE AT NEW CENTRE CLUBHOUSE & FITNESS CENTER
137 DAPPLE COURT WILMINGTON, NORTH CAROLINA
PIPE NETWORK DRAINAGE MAP

REVISIONS	
2	10-12-16 PER TRC COMMENT
1	07-21-16 PER TRC COMMENT
DATE:	05-17-16
FILE NO.	2015-083
ORIG. SHEET SIZE:	24 x 36

PROJECT FILES: Z:\CONSTRUCTION\081 NEW CENTRE FITNESS CENTER\ANSITE PLANS\NET PLEASANT FLESHBART PIPE DRAINING PLOTS: 11/03/16 12:48 PM

IMPORTANT NOTE: ALL CONSTRUCTION SHALL COMPLY WITH CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.

APPROVED CONSTRUCTION PLAN

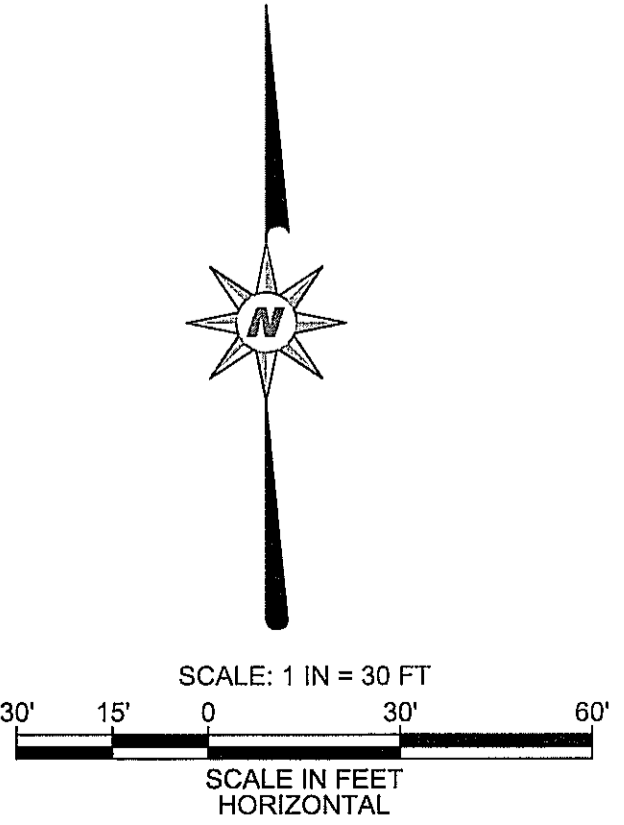
	NAME	DATE
PLANNING	<i>Jeff Walker</i>	11-30-16
TRAFFIC	<i>W. Gordon</i>	12-1-16
FIRE	<i>C. J. Walker</i>	12/1/16

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division

APPROVED DRAINAGE PLAN

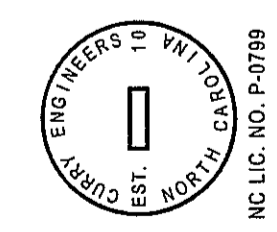
Date: 12/1/16 Permit # 2016044

Signed: *[Signature]*



SEAL

T (910) 552-8448
F (910) 552-2043
P.O. Box 10000
Fayetteville, NC 27804



Curry
ENGINEERING

EXH. 1